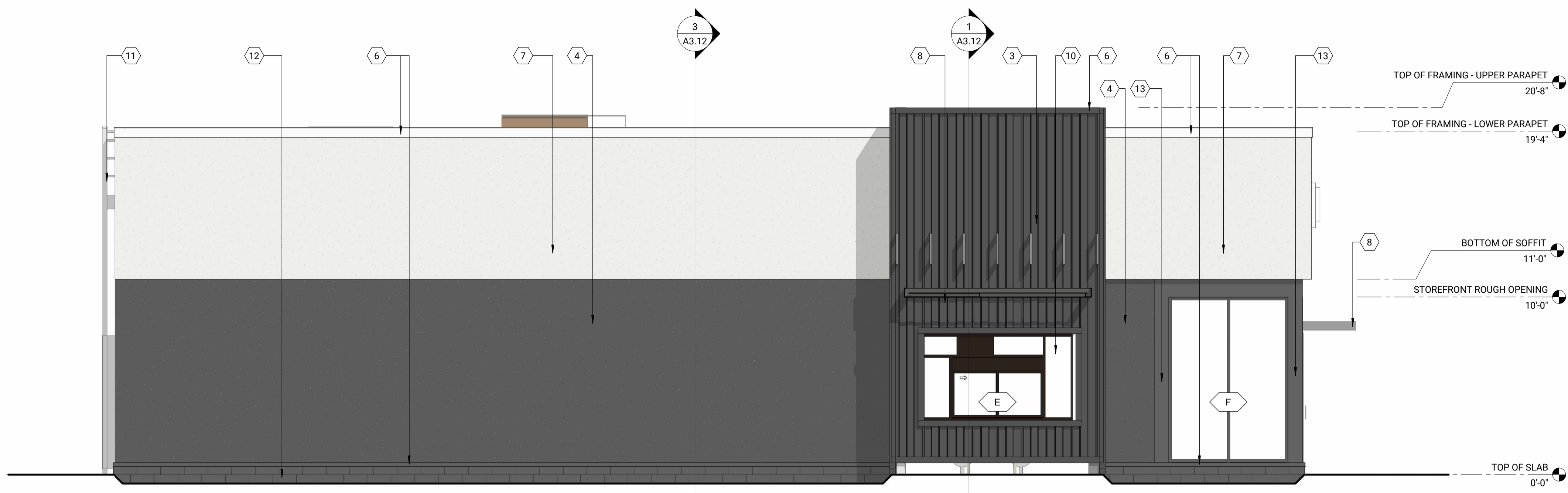
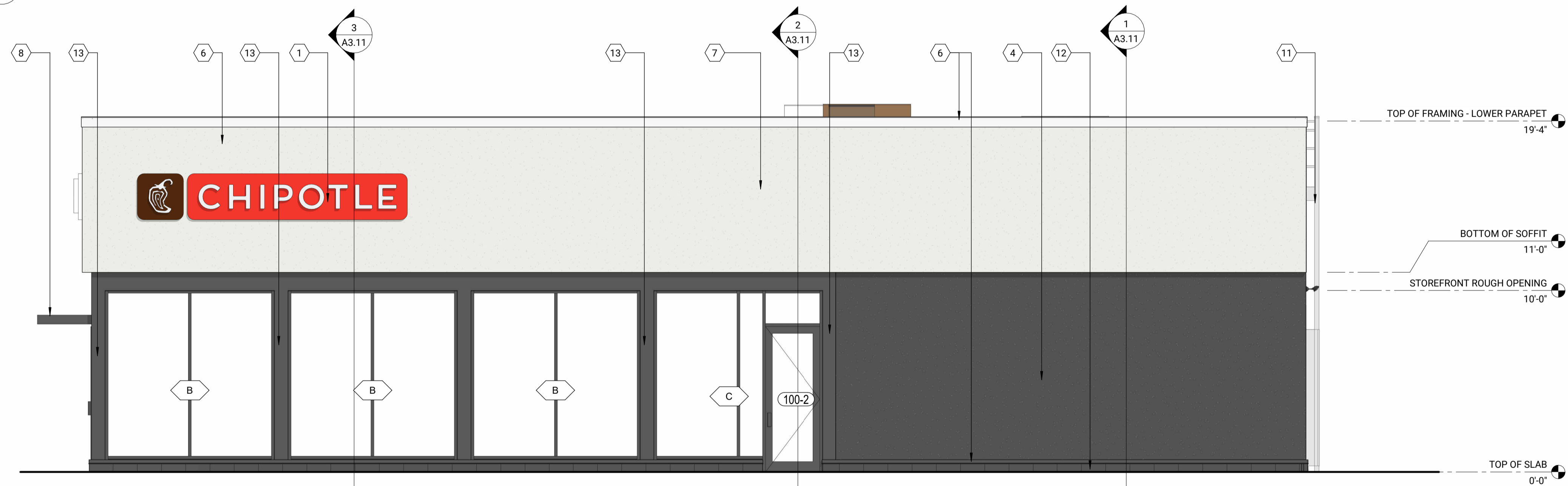




*Chipotle Mexican Grill*  
HENRIETTA



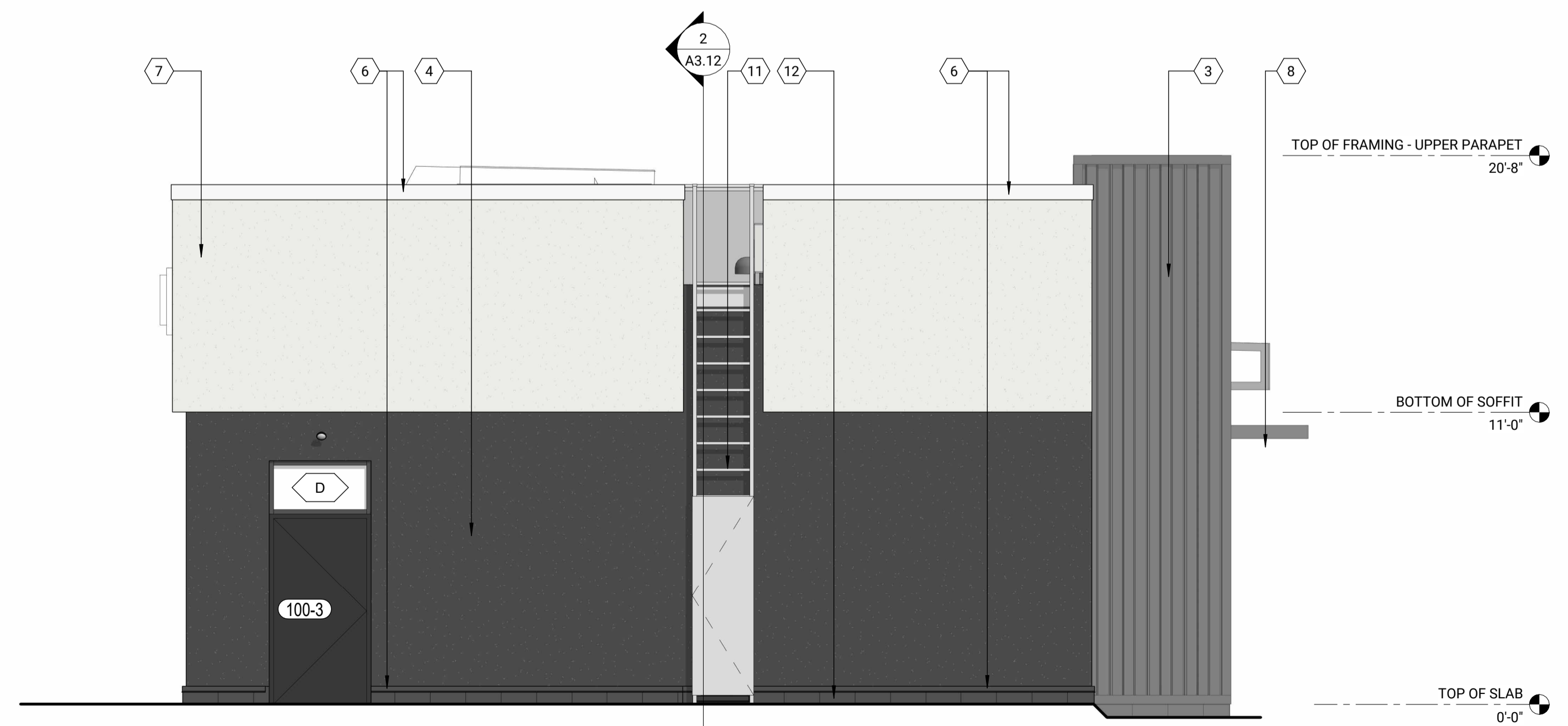
**1 SOUTH-EAST ELEVATION**  
1/4" = 1'-0"



**2 NORTH-WEST ELEVATION**  
1/4" = 1'-0"



**3 NORTH-EAST ELEVATION**  
1/4" = 1'-0"



**4 SOUTH-WEST ELEVATION**  
1/4" = 1'-0"

**GENERAL ELEVATION NOTES**

- TENANT SIGNAGE SHOW FOR REFERENCE ONLY. TENANT SIGNAGE SHALL BE PERMITTED SEPARATELY.
- BUILDING MOUNTED SIGNAGE WILL BE INTERNALLY LIT. COORDINATE ELECTRICAL AND PLYWOOD PLACEMENT WITH TENANT.

**PLAN / ELEVATION KEYNOTES**

NO.	DESCRIPTION
1	WALL MOUNTED SIGNAGE SIGN "A" (PERMITTED SEPARATELY), LANDLORD TO PROVIDE IN-WALL BLOCKING FOR CMG SIGNAGE
3	SHADOW RIB, CONCEALED FASTENING WALL SYSTEM FROM MBCI - COLOR: MATCH STOREFRONT
4	EIFS, COLOR: PPG - KNIGHTS ARMOR - #1001-6
6	PREFINISHED ALUMINUM COPING/FLASHING - COLOR: MATCH ADJACENT FINISH
7	EIFS, COLOR: PPG - FOG - #1010-2
8	CANOPY AND INTEGRATED LED STRIP LIGHTING BY LANDLORD
9	DOWNSPOUT NOZZLE (ZURN Z-199-IP4 OR SIMILAR)
10	PICK-UP WINDOW WITH HEATED AIR CURTAIN PROVIDED AND INSTALLED BY LANDLORD'S GENERAL CONTRACTOR.
11	ROOF ACCESS LADDER (BASIS OF DESIGN: O'KEEFE'S MODEL 502)
12	SMOOTH FACE CMU AT ALL EXPOSED AREAS ABOVE GRADE OR SIDEWALK, PAINT TO MATCH KING'S ARMOUR
13	PREFINISHED BRASS METAL FINISH MATCH STOREFRONT



**NOT FOR CONSTRUCTION**



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DRAWN BY: CW  
CHECKED BY: JML  
PROJECT STATUS: PROGRESS  
SCALE: 1/4" = 1'-0"

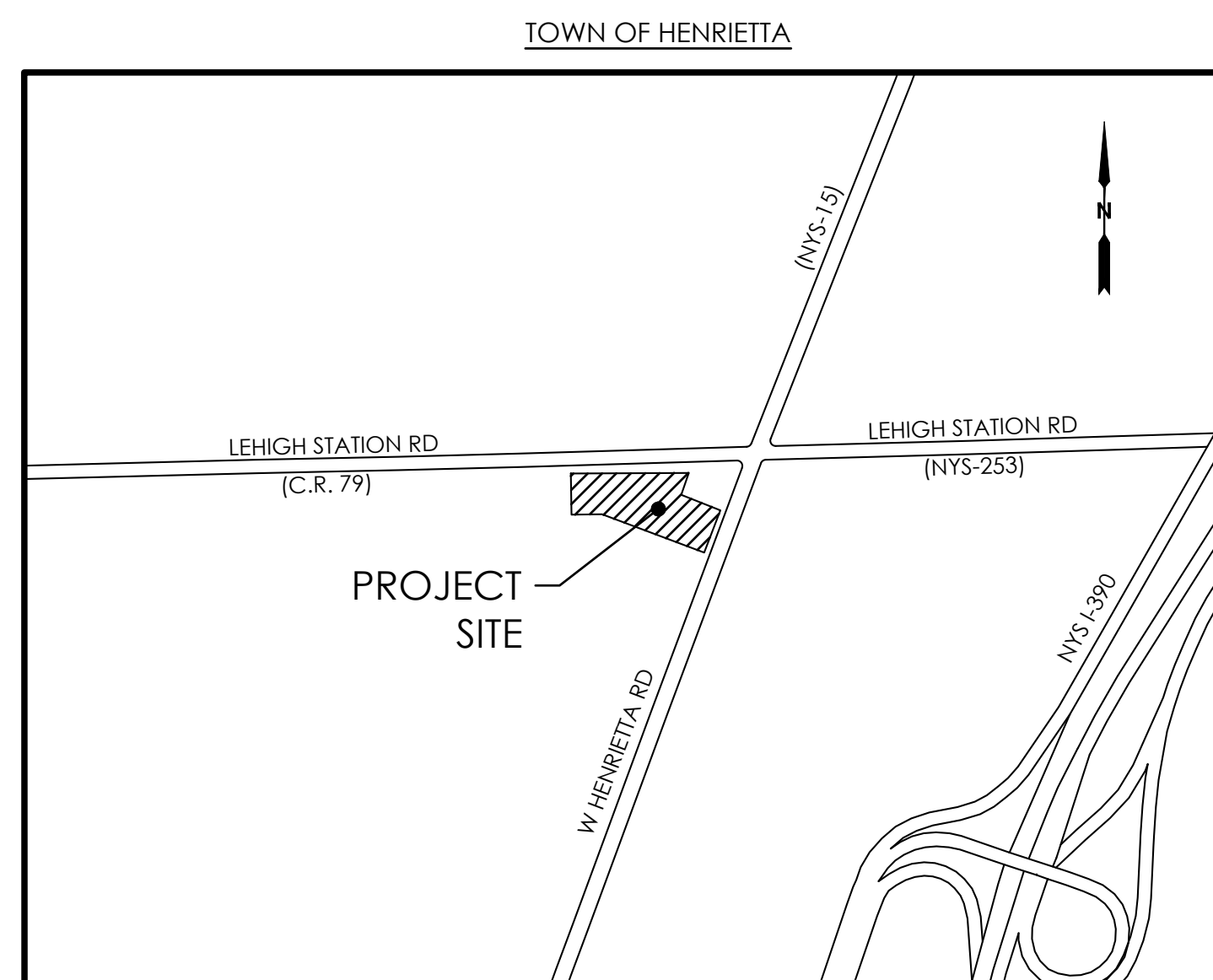
EXTERIOR ELEVATIONS

# 4799 WEST HENRIETTA ROAD-LOT 2

## SITE DEVELOPMENT T.A.#175.03-1-3.132

TOWN OF HENRIETTA  
MONROE COUNTY  
STATE OF NEW YORK

TABLE OF CONTENTS	
DWG. NO.	DESCRIPTION
C0	COVER SHEET
C1	NOTES & LEGEND
C2	EXISTING CONDITIONS AND DEMOLITION PLAN
C3	SITE PLAN
C4	UTILITY PLAN
C5	GRADING PLAN
C6	LANDSCAPING PLAN
C7	LIGHTING PLAN
C8	CONSTRUCTION DETAILS - 1
C9	CONSTRUCTION DETAILS - 2
C10	CONSTRUCTION DETAILS - 3
C11	CONSTRUCTION DETAILS - 4



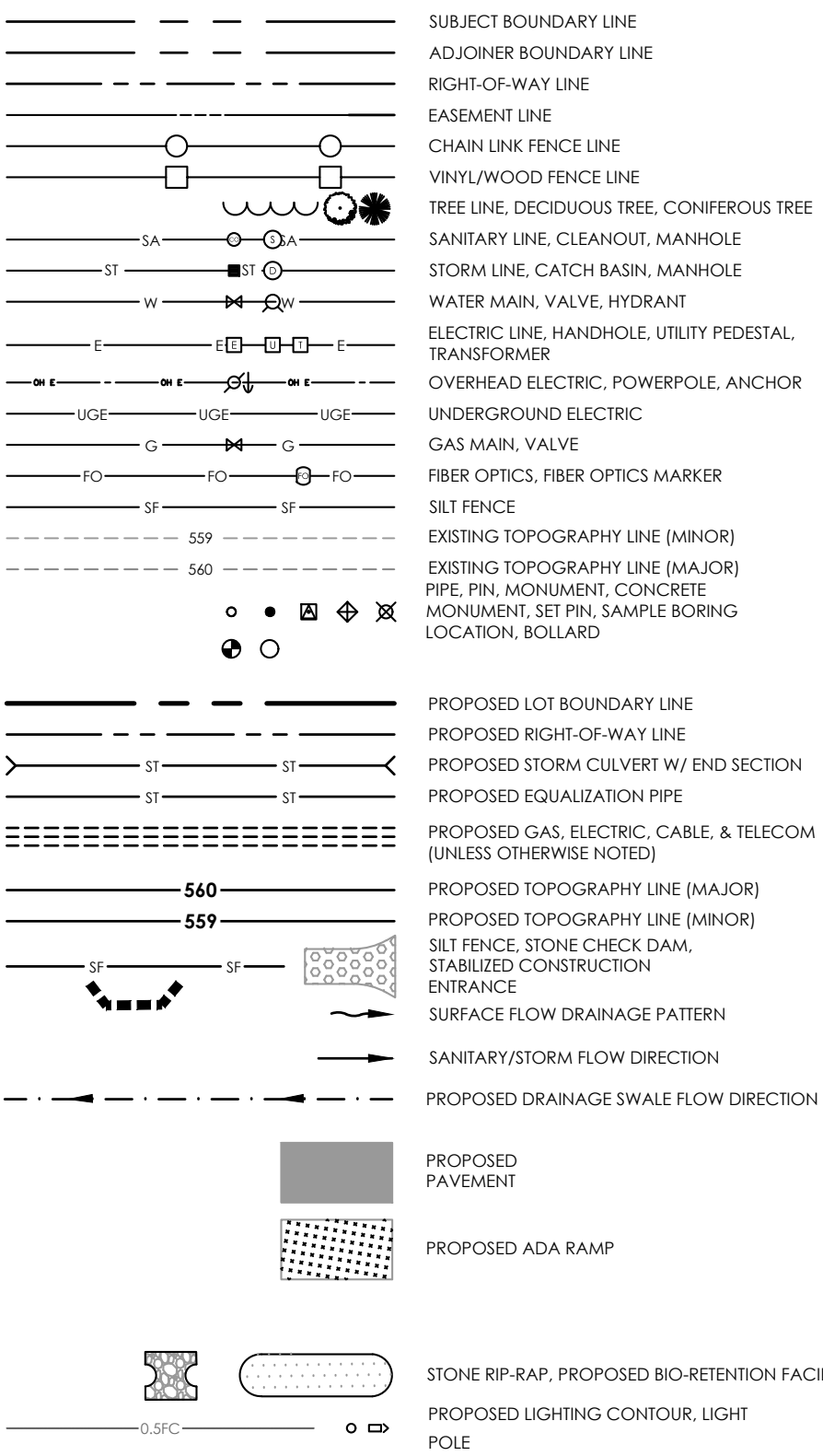
LOCATION MAP  
NOT TO SCALE

PREPARED BY:



45 HENDRIX ROAD  
WEST HENRIETTA, NY 14586  
PHONE (585) 359-7540  
FAX (585) 359-7547

LEGEND



ABBREVIATIONS

- EX. EXISTING
N/F. NOW OR FORMALLY
TYP. TYPICAL
W/ WITH
Ø DIAMETER
T.A. TAX ACCOUNT NUMBER
P.M.L. UTILITY PAINT MARK LOCATION
EX. PER RECORD MAPPING
LAT. LATERAL
SWR. SEWER
C.O. CLEANOUT
CB. CATCH BASIN
M.H. MANHOLE
F.F. FINISHED FLOOR ELEVATION
T.R. TOP OF RIM ELEVATION
T.G. TOP OF GRATE ELEVATION
T.C. TOP OF CURB ELEVATION
B.C. BOTTOM OF CURB ELEVATION
T.O.P. TOP OF PIPE ELEVATION

SITE NOTES:

- 1. PROJECT AREA IS LOCATED IN FLOOD ZONE X AS PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 36055C0342G, DATED AUGUST 28, 2008.
2. THIS PROJECT WILL DISTURB APPROXIMATELY 0.65 ACRES OF SOIL. THIS PROJECT IS PART OF SPDES STORMWATER DISCHARGE PERMIT #NYR11H960.
3. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS...
4. SITE BENCHMARK, NAIL IN UTILITY POLE RG&E 104D, ELEVATION 566.54 (NAV D88)
5. WEST HENRIETTA ROAD AND LEHIGH STATION ROAD SHALL BE KEPT CLEAN AND FREE OF DEBRIS DURING CONSTRUCTION.
6. NATIVE AND EXISTING VEGETATION SHOULD BE RETAINED AND PROTECTED TO THE GREATEST EXTENT POSSIBLE.
7. DEVELOPER IS TO OBTAIN ANY APPROPRIATE STATE, COUNTY AND TOWN PERMITS PRIOR TO CONNECTING TO ANY PUBLIC UTILITIES.
8. UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. ALL UTILITIES SHALL BE FIELD STAKED BEFORE COMMENCING WORK.
9. UPON COMPLETION OF THE PROJECT, THE DEVELOPER SHALL SUBMIT A LANDSCAPE CERTIFICATE OF COMPLIANCE TO THE BUILDING DEPARTMENT...
10. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF HENRIETTA.
11. A RECORD SITE PLAN MUST BE PROVIDED TO THE TOWN ENGINEERING DEPARTMENT...

EROSION & SEDIMENT CONTROLS

- 1. THIS PROJECT WILL DISTURB APPROXIMATELY 0.65 ACRES OF SOIL. THIS PROJECT IS PART OF SPDES STORMWATER DISCHARGE PERMIT #NYR11H960.
2. PROCEDURES OUTLINED IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL MUST BE FOLLOWED THROUGHOUT THE DURATION OF CONSTRUCTION...
3. INSPECTIONS BY A QUALIFIED PROFESSIONAL ARE TO OCCUR AT LEAST ONCE EVERY 7 CALENDAR DAYS DURING CONSTRUCTION.
4. VEGETATIVE MEASURES SUCH AS JUTE MESH, SEEDING AND MULCHING WILL BE UTILIZED TO HELP PREVENT ERODING OF THE SOIL.
5. BARE SOIL WILL BE SEEDED WITHIN 14 DAYS OF EXPOSURE UNLESS CONSTRUCTION WILL BEGIN WITHIN 21 DAYS.
6. TEMPORARY SEEDING WILL CONSIST OF RYEGRASS PLACED AT A RATE OF 30 LBS. PER ACRE OR 0.7 LBS. PER 1,000SF.
7. TOPSOIL SHALL BE PLACED AT A DEPTH OF 6" MINIMUM.
8. PERMANENT SEEDING SHALL FOLLOW THE CHART LISTED BELOW.

Table with columns: GENERAL SEED MIX, VARIETY, LBS/ACRE, LBS/1,000SF. Includes rows for Birdsfoot Trefoil, Common White Clover, Tall Fescue, Redtop, and Ryegrass.

- \*ADD INOCULANT IMMEDIATELY PRIOR TO SEEDING
9. SEDIMENT CONTROL CONCERNS ARE ADDRESSED BY USE OF PERIMETER CONTROLS SUCH AS SILT FENCE AND STONE CHECK DAMS.
10. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE SHALL BE SWEEPED DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE.

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH CONDITIONS OF APPROVAL

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH APPROVAL IS GRANTED ON CONDITION THAT:

- 1. THE PROPOSED FACILITIES FOR SEWAGE DISPOSAL ARE INSTALLED IN CONFORMITY WITH THE APPROVED PLANS.
2. A COPY OF THE PLANS APPROVED THIS DATE SHALL BE FILED IN THE OFFICE OF THE CLERK OF MONROE COUNTY, IF APPLICABLE.
3. NO LOT OR REMAINING LAND (IF APPLICABLE) SHALL BE SUBDIVIDED WITHOUT PLANS FOR SUCH RE-SUBDIVISION BEING SUBMITTED TO AND APPROVED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH.
4. THIS CERTIFICATE IS GRANTED WITH THE UNDERSTANDING THAT THE APPROVED PLANS ARE SUBJECT TO REVIEW AND REAPPROVAL AFTER TWO YEARS FROM DATE OF APPROVAL.
5. ADEQUATE EROSION/SILTATION CONTROL MEASURES SHALL BE EMPLOYED PRIOR TO AND DURING CONSTRUCTION.

MONROE COUNTY PURE WATERS SEWER USE LAW NOTE:

FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.



IRONDEQUOIT BAY SOUTH CENTRAL PURE WATERS DISTRICT

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH
THESE PLANS FOR PUBLIC SANITARY SEWER EXTENSION/IMPROVEMENTS ARE HEREBY APPROVED PURSUANT TO ARTICLE 17 OF THE NYS ENVIRONMENTAL CONSERVATION LAW SUBJECT TO CONDITIONS OF APPROVAL.
DIRECTOR OF PUBLIC HEALTH
BY PUBLIC HEALTH ENGINEER DATE

CONSTRUCTION SEQUENCE:

- 1. EXPOSURE OF DISTURBED EARTH DURING THE MASS EARTHWORK PHASE WILL BE LESS THAN 5 ACRES. IT IS RECOMMENDED THAT THE CONTRACTOR FOLLOW THE FOLLOWING SEQUENCE OF CONSTRUCTION OPERATIONS.
2. THE PROPOSED EROSION AND SEDIMENT PLAN WILL BE DISCUSSED WITH CONTRACTORS BEFORE BEGINNING ANY EARTH DISTURBING ACTIVITIES TO ENSURE THAT ALL CONTRACTORS ARE AWARE OF THE PROPER INSTALLATION OF THE E&S MEASURES...
3. CONTRACTOR TO INSTALL STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN ON PLAN PER DETAIL.
4. CONSTRUCT STAGING AREA(S) AS REQUIRED.
5. INSTALL PERIMETER SEDIMENT CONTROLS (SILT FENCING) AT LOCATIONS SHOWN ON PLAN. IMMEDIATELY STABILIZE ANY AREAS DISTURBED BY THIS ACTIVITY.
6. ALL PROPOSED BIORETENTION AREAS MAY ONLY BE INSTALLED ONCE ALL CONTRIBUTING DRAINAGE AREAS HAVE ACHIEVED PERMANENT STABILIZATION.
7. INSTALL ALL REMAINING EROSION AND SEDIMENT CONTROLS ACCORDING TO THE PLAN.
8. THE OPERATOR AND OWNER/DEVELOPER SHALL COMPLETE AN ASSESSMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
9. STRIP AND STOCKPILE TOPSOIL AS DIRECTED BY DEVELOPER.
12. WITHIN 14 DAYS OF EXPOSURE, STABILIZE ALL DISTURBED AREAS.
13. INSTALL STORMWATER MANAGEMENT FACILITIES AS REQUIRED AND ACCORDING TO THE PLAN.
14. INSTALL UTILITIES PER THE UTILITY PLAN.
15. PERFORM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE SITE UTILITY, AND GRADING PLAN.
16. START CONSTRUCTION OF BUILDING AND PAD STRUCTURES.
17. CONDUCT TESTING ON ALL INSTALLED UTILITIES
18. PREPARE AREAS FOR PAVING AND PAVE ROADWAYS/PARKING LOTS.
19. COMPLETE FINAL SITE GRADING, REAPPLY TOPSOIL (MINIMUM 6" THICKNESS), INSTALL PERMANENT SEEDING, FERTILIZER, AND MULCH.
20. UPON PERMANENT STABILIZATION OF INDIVIDUAL PORTIONS OF THE SITE, REMOVE INDIVIDUAL TEMPORARY SEDIMENTATION CONTROL MEASURES AS APPROPRIATE.
21. INSTALL ALL PLANTINGS AND LANDSCAPE FEATURES AS SHOWN ON THE LANDSCAPE PLAN.

TOWN OF HENRIETTA CONDITIONS FOR APPROVAL

- 1. AS AN INTEGRAL PART OF THIS APPROVAL, THE PLANNING BOARD EXPRESSLY APPROVES THE COLORS, TEXTURE, AND FINISH OF THE BUILDING AS DEPICTED IN THE ELEVATIONS OR OTHER DOCUMENTS SUBMITTED WITH THIS APPLICATION.
2. COMPLETE FINAL SITE GRADING, REAPPLY TOPSOIL (MINIMUM 6" THICKNESS), INSTALL PERMANENT SEEDING, FERTILIZER, AND MULCH.
3. INSTALL ALL PLANTINGS AND LANDSCAPE FEATURES AS SHOWN ON THE LANDSCAPE PLAN.

MCDPH STANDARD SANITARY SEWER EXTENSION NOTES:

- 1. MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER.
2. FLOOR DRAINS, IF CONSTRUCTED IN THE PROJECT, MUST BE CONNECTED TO THE SANITARY SEWER.
3. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE.
4. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER LINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES.
5. THE CONTRACTOR SHALL TELEVIEW ALL SANITARY SEWERS 30 DAYS AFTER COMPLETION OF INSTALLATION.

N.Y.S.D.O.T. DESIGNER CONTACT STATEMENT

DDS COMPANIES IS RESPONSIBLE FOR THE DESIGN OF THIS PROJECT. ED MARTIN IS THE DESIGNER AND IS FAMILIAR WITH NYS DOT STANDARDS AND REQUIREMENTS AND SHALL BE CONTACTED AT 585-359-7540 TO RESOLVE ISSUES OR PROBLEMS DURING CONSTRUCTION.

N.Y.S.D.O.T. GENERAL PLAN NOTES

- 1. NYS-15 TO BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES.
2. ROADSIDE DRAINAGE TO BE MAINTAINED AT ALL TIMES.
3. MATERIALS, EQUIPMENT AND VEHICLES ARE NOT TO BE STORED OR PARKED WITHIN THE NEW YORK STATE RIGHT-OF-WAY.
4. MAINTENANCE AND PROTECTION OF TRAFFIC MUST COMPLY WITH THE CURRENT NATIONAL MUTCD WITH NYS SUPPLEMENT, SECTION 619 OF THE CURRENT NYS DOT STANDARD SPECIFICATIONS.
5. CONTRACT THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION'S ASSISTANT RESIDENT ENGINEER AT THE APPROPRIATE NUMBER.
6. GENESSEE CO. - DAN STAHLEY (585) 343-0502 LIVINGSTON CO. - ADAM KISHAH (585)346-3036
7. MONROE CO. - WEST OF GENESSEE RIVER DARRELL FAZIO (585)352-3471 MONROE CO. - EAST OF GENESSEE RIVER MARK ELLSWORTH (585)586-4514
8. ONTARIO CO. - GREG TROST (585) 396-4955 ORLEANS CO. - KEVIN KEISER (585)589-6655
9. WAYNE CO. - JEFF JONES (315) 332-4000 WYOMING CO. - KEN BITTNER (585) 786-3310

IN ADDITION, THE PERMITTEE SHALL NOTIFY NYS DOT REGIONAL TRAFFIC OPERATIONS CENTER (RTOC) OF ALL LANE AND SHOULDER CLOSURES AT LEAST THREE (3) DAYS IN ADVANCE OF THE PROPOSED WORK UTILIZING RTOC'S NOTIFICATION FORM.

- 6. NOTIFY THE NYS DOT SIGNAL MAINTENANCE FACILITY AT (585) 753-7780 5 DAYS PRIOR TO WORKING WITHIN 350' OF A SIGNALIZED INTERSECTION.
7. ALL MATERIALS USED WITHIN THE STATE RIGHT-OF-WAY MUST COMPLY WITH THE CURRENT NEW YORK STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
8. QUALITY CONTROL OF ASPHALT CONCRETE SHALL MEET THE REQUIREMENTS OF SECTION 401 OF THE STANDARD SPECIFICATIONS.
9. NO NIGHT WORK SHALL BE ALLOWED UNLESS APPROVED PRIOR TO START OF PROJECT.
10. HAZARDOUS WASTE NOTIFICATION - THE PERMITTEE ACCEPTS THE RIGHT-OF-WAY OF THE STATE HIGHWAY IN ITS "AS IS" CONDITION.
11. ADA COMPLIANCE - ALL WORK ON PEDESTRIAN FACILITIES SHALL BE COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT (ADA).

1", 1-1/2" AND 2" WATER SERVICE LINE NOTES

- 1. Water service lines shall be constructed in accordance with the regulations and specifications of the Water Authority.
2. Water service lines shall have a minimum of five feet of cover from finished grade in lawn areas and six feet of cover from finished grade in paved areas.
3. Water service lines shall be separated at least ten feet, measured from the outside of the pipes, from sewer mains or septic systems.
4. Water service lines shall be identified as:

Table with columns: DESCRIPTION, SIZE, MATERIAL, TYPE. Rows for MCWA Portion and Private Portion.

- (a) Minimum size is 1-inch.
(b) Acceptable material for private portion is either Type "K" Copper or Polyethylene plastic (PE) #4710, SDTR 9, ASTM 2737, NSF-PW, 200 psi (1.125" OD)
(c) Service Types include: Domestic = DS, Fire = FS, or Combined = CMB

- 5. The Water Authority's portion of the service line shall be installed after the private portion of service is installed.
6. Water meter(s) to be located on the interior of exterior wall(s) immediately upon service entrance into the building(s), or in a meter tile when conditions warrant.



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KERRY VENTURES WEST
HENRIETTA, LLC
1777 EAST HENRIETTA ROAD
BUILDING A, SUITE 100
ROCHESTER, NY 14623
(585) 867-4750

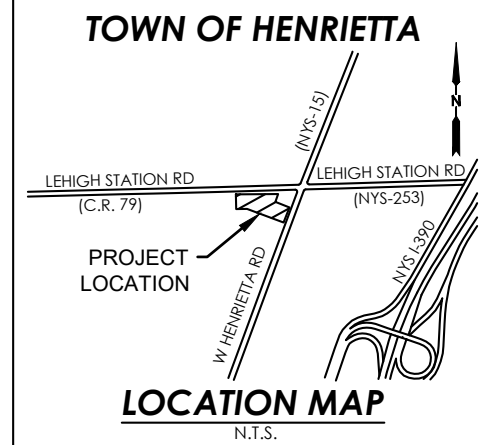


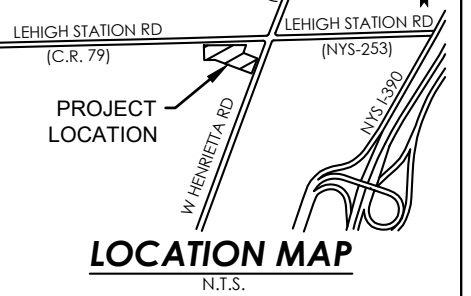
Table with columns: DATE, DESCRIPTION, REV. Includes drawing title '4799 WEST HENRIETTA ROAD LOT 2 DEVELOPMENT' and notes.



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1777 EAST HENRIETTA ROAD  
BUILDING A, SUITE 100  
ROCHESTER, NY 14623  
(585) 867-4750

TOWN OF HENRIETTA



REV	DATE	DESCRIPTION

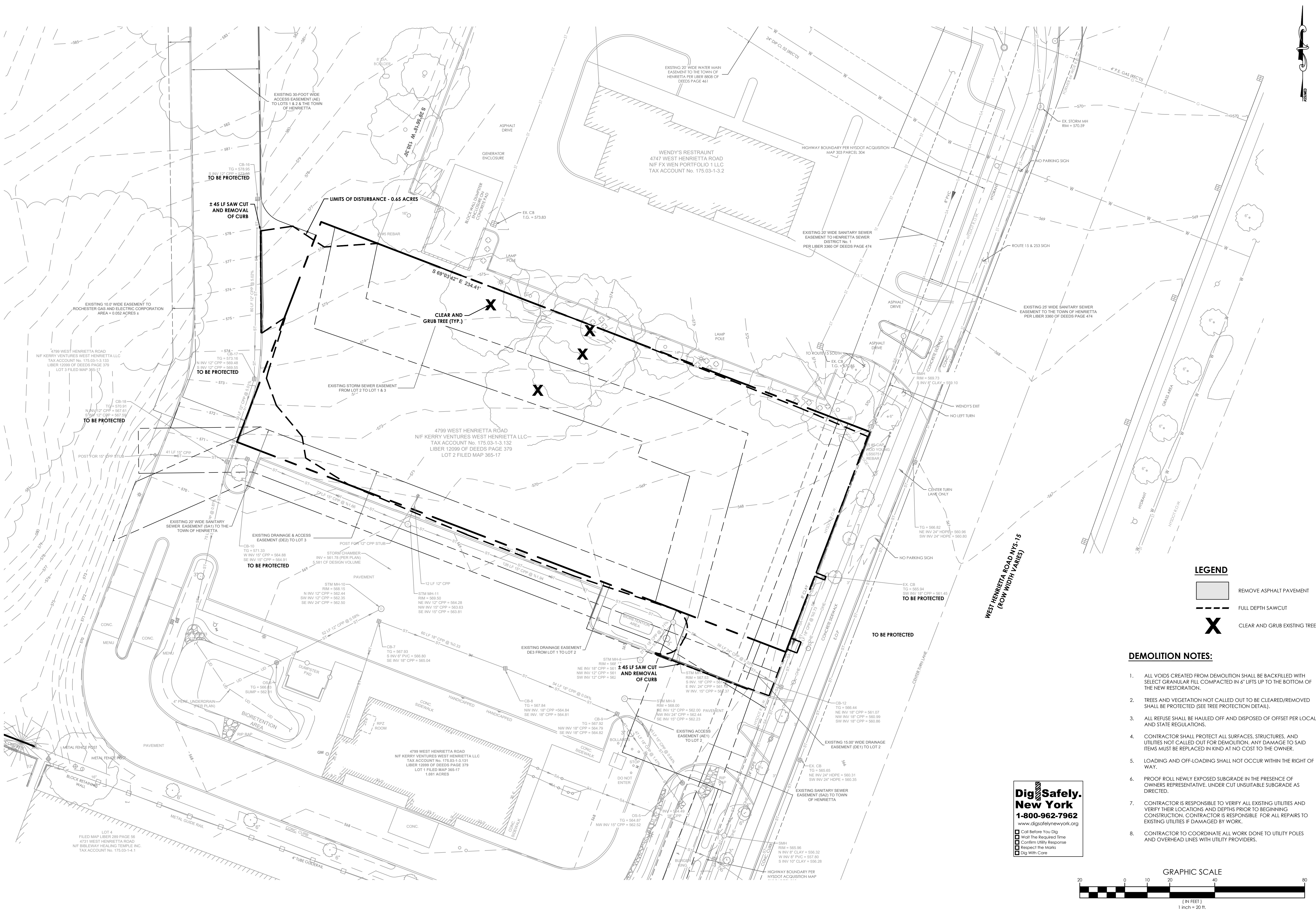
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**4799 WEST HENRIETTA ROAD  
LOT 2 DEVELOPMENT**

DRAWING TITLE:  
EXISTING CONDITIONS AND DEMOLITION PLAN

DRAWN BY: ESM PROJ. NO.: 7224028  
SJC APPROVED BY: ESM  
CHECKED BY: CAK DATE: 7/9/2024 PAGE SIZE: ANSI D

REV: **00** DRAWING NO: **C2**



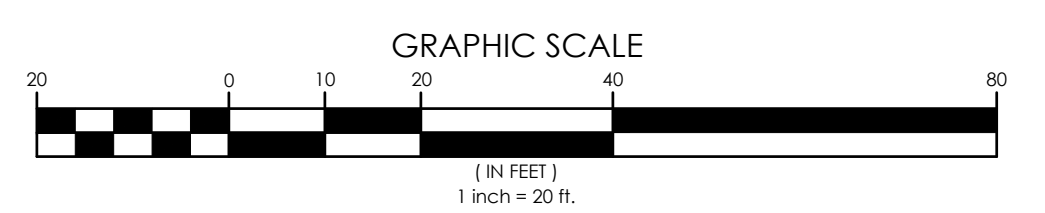
**LEGEND**

- REMOVE ASPHALT PAVEMENT
- FULL DEPTH SAWCUT
- CLEAR AND GRUB EXISTING TREE

- DEMOLITION NOTES:**
- ALL VOIDS CREATED FROM DEMOLITION SHALL BE BACKFILLED WITH SELECT GRANULAR FILL COMPACTED IN 6" LIFTS UP TO THE BOTTOM OF THE NEW RESTORATION.
  - TREES AND VEGETATION NOT CALLED OUT TO BE CLEARED/REMOVED SHALL BE PROTECTED (SEE TREE PROTECTION DETAIL).
  - ALL REFUSE SHALL BE HAULED OFF AND DISPOSED OF OFFSET PER LOCAL AND STATE REGULATIONS.
  - CONTRACTOR SHALL PROTECT ALL SURFACES, STRUCTURES, AND UTILITIES NOT CALLED OUT FOR DEMOLITION. ANY DAMAGE TO SAID ITEMS MUST BE REPAIRED IN KIND AT NO COST TO THE OWNER.
  - LOADING AND OFF-LOADING SHALL NOT OCCUR WITHIN THE RIGHT OF WAY.
  - PROOF ROLL NEWLY EXPOSED SUBGRADE IN THE PRESENCE OF OWNERS REPRESENTATIVE. UNDER CUT UNSUITABLE SUBGRADE AS DIRECTED.
  - CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING UTILITIES AND VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS TO EXISTING UTILITIES IF DAMAGED BY WORK.
  - CONTRACTOR TO COORDINATE ALL WORK DONE TO UTILITY POLES AND OVERHEAD LINES WITH UTILITY PROVIDERS.

**Dig Safely.  
New York**  
1-800-962-7962  
www.digsafelynewyork.org

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care



FILED MAP LIBER 289 PAGE 56  
4731 WEST HENRIETTA ROAD  
N/F BIBLESVY HEALING TEMPLE INC.  
TAX ACCOUNT No. 175.03-1-4-1

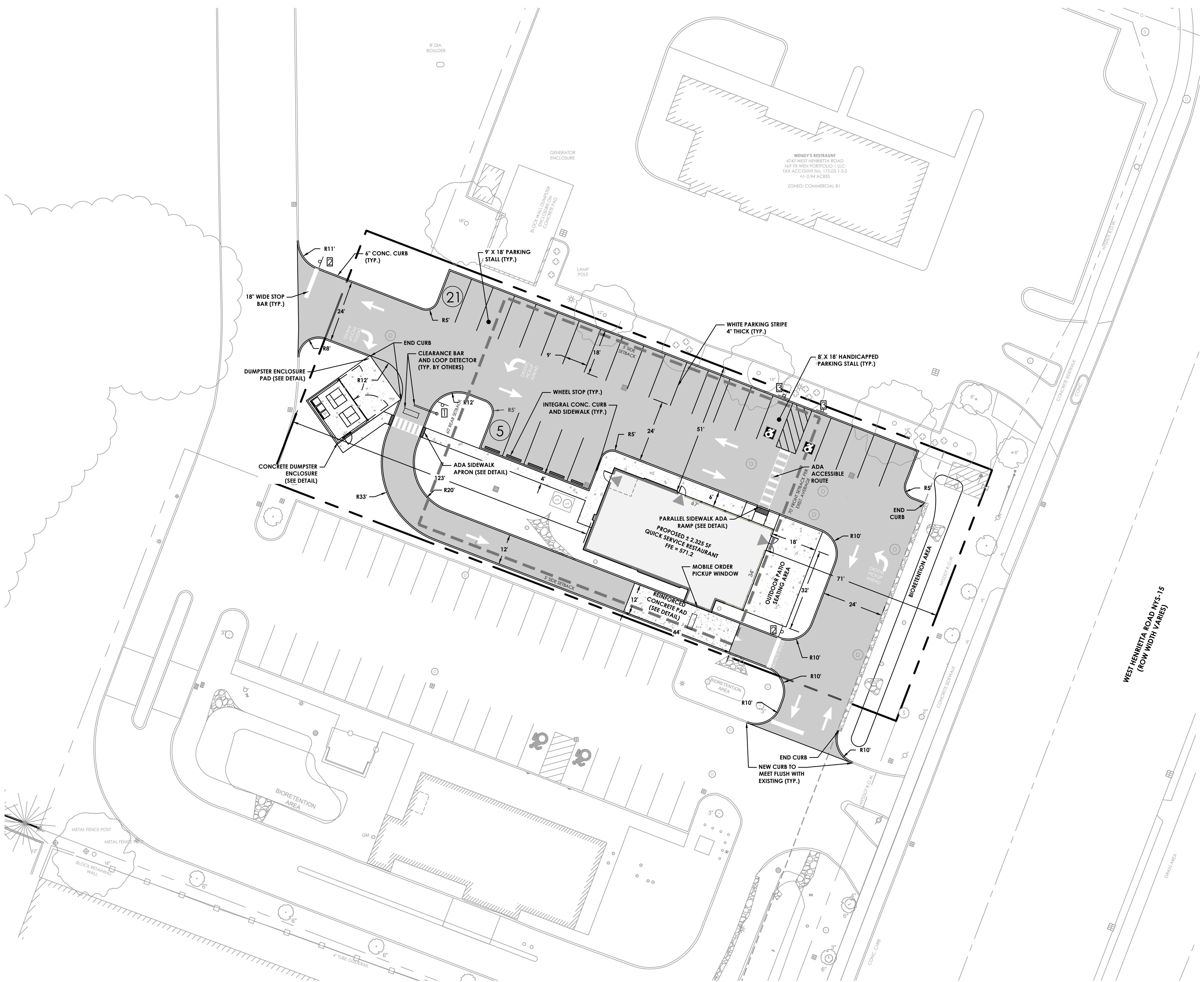
4799 WEST HENRIETTA ROAD  
N/F KERRY VENTURES WEST HENRIETTA LLC  
TAX ACCOUNT No. 175.03-1-3-131  
LIBER 12099 OF DEEDS PAGE 379  
LOT 1 FILED MAP 365-17  
1.581 ACRES

± 45 LF SAW CUT  
AND REMOVAL  
OF CURB

± 45 LF SAW CUT  
AND REMOVAL  
OF CURB

CLEAR AND  
GRUB TREE (TYP.)

WEST HENRIETTA ROAD NYS-15  
(ROW WIDTH VARIES)



**SITE DATA:**

OWNER: KERRY VENTURES WEST HENRIETTA, LLC  
 PROJECT LOCATION: 4799 WEST HENRIETTA ROAD LOT 2, HENRIETTA NY 14467  
 TAX ACCOUNT #: 175.03-1-3.132  
 TOTAL AREA: 0.628 ACRES  
 ZONING: COMMERCIAL B-1

**PARKING REQUIREMENTS:**

ZONING: G1 (GENERAL INDUSTRIAL)	REQUIRED	PROPOSED
MIN. PARKING SPACE SIZE	9'X18'	9'X18'
SPACES:	20	26

(1) SPACE / 120 SF PER TOWN OF HENRIETTA ZONING CODE  
 REQUIRED ADA PARKING SPACES 2 TOTAL (1 VAN)

**ZONING REQUIREMENTS**

ZONING: B-1 COMMERCIAL	CODE	PROPOSED
FRONT SETBACK	125' (70')	71'
SIDE SETBACK	5'	14'
REAR SETBACK	60'	123'
MAX. BUILDING HEIGHT	30'	20'
MAX LOT COVERAGE	75%	71%

\*MIN. FRONT YARD SETBACK IN THE EVENT EXISTING BUILDINGS EXTEND NEARER THAN 80' SHALL BE AVERAGE SETBACK OF SUCH EXISTING BUILDINGS (TOWN CODE 295-19) = 70'

**AVERAGE FRONT SETBACKS**

WEST HENRIETTA ROAD (NYS-15)		
ADDRESS	EXISTING SETBACK	AVERAGE SETBACK
4747 WEST HENRIETTA ROAD	73.1'	69.95'
4731 WEST HENRIETTA ROAD	66.8'	

LEHIGH STATION ROAD (CR-79)		
ADDRESS	EXISTING SETBACK	AVERAGE SETBACK
4747 WEST HENRIETTA ROAD*	54.1'	
705 LEHIGH STATION ROAD*	50'	52.1'

**SPECIAL USE PERMIT NOTE:**

1. A SPECIAL USE PERMIT APPLICATION TO THE TOWN BOARD OF THE TOWN OF HENRIETTA HAS BEEN SUBMITTED FOR REVIEW TO OPERATE A QUICK SERVICE RESTAURANT WITH OUTDOOR SEATING AND TAKE-OUT MEAL SERVICE.

**SIGN CALLOUT SCHEDULE**

SIGN BLOCK	DESCRIPTION
1	ENTER (ANNOUNCE)
2	EXIT (ANNOUNCE)
3	HANDICAP PARKING

**LEGEND**

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- PROPOSED ADA RAMP

**TOWN OF HENREITTA APPROVALS**

PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

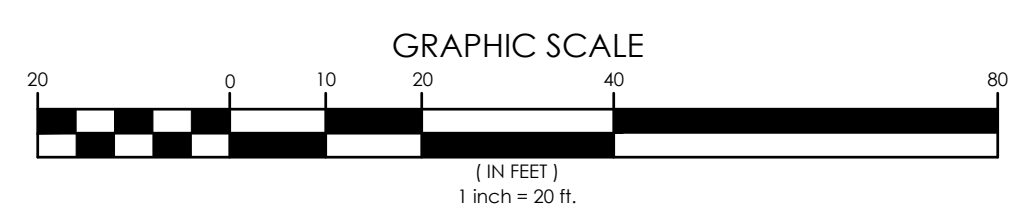
DIRECTOR OF BUILDING AND FIRE PREVENTION \_\_\_\_\_ DATE \_\_\_\_\_

FIRE MARSHALL \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR OF ENGINEERING AND PLANNING \_\_\_\_\_ DATE \_\_\_\_\_

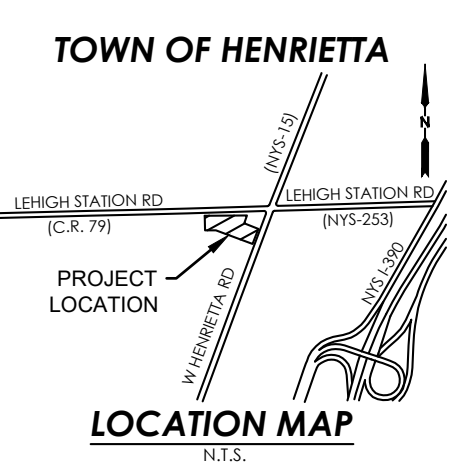
COMMISSIONER OF PUBLIC WORKS \_\_\_\_\_ DATE \_\_\_\_\_

DEPUTY COMMISSIONER OF PUBLIC WORKS \_\_\_\_\_ DATE \_\_\_\_\_



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 BUILDING A, SUITE 100  
 ROCHESTER, NY 14623  
 (585) 867-4750



REV	DESCRIPTION	DATE

**4799 WEST HENRIETTA ROAD LOT 2 DEVELOPMENT**

BEING A PART OF TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

DRAWING TITLE: **SITE PLAN**

DRAWN BY: SHC PROJ. NO.: 72240288  
 CHECKED BY: CAK DATE: 7/19/2024 PAGE SIZE: ANSI D

REV: **00** DRAWING NO: **C3**

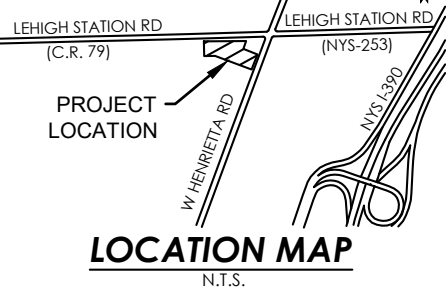
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HENRIETTA, LLC  
1777 EAST HENRIETTA ROAD  
BUILDING A, SUITE 100  
ROCHESTER, NY 14623  
(585) 867-4750**

**TOWN OF HENRIETTA**



REV	DESCRIPTION	DATE

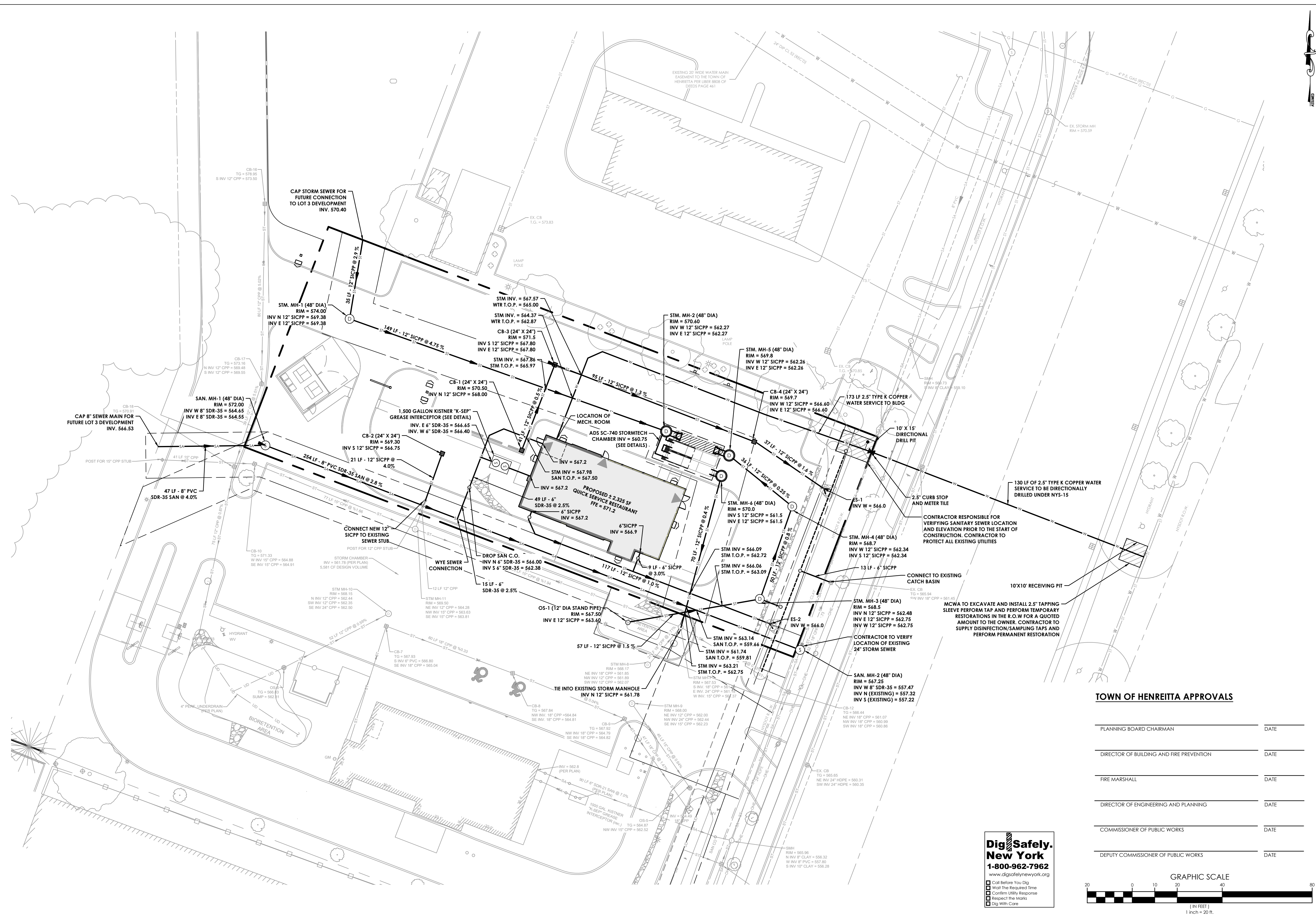
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**4799 WEST HENRIETTA ROAD  
LOT 2 DEVELOPMENT**  
BEING A PART OF TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

DRAWING TITLE: **UTILITY PLAN**

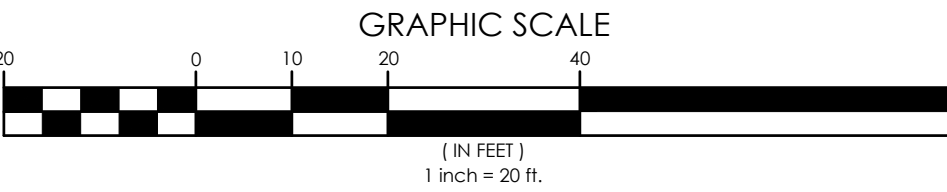
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- Mark the Required Time
- Confirm Utility Response
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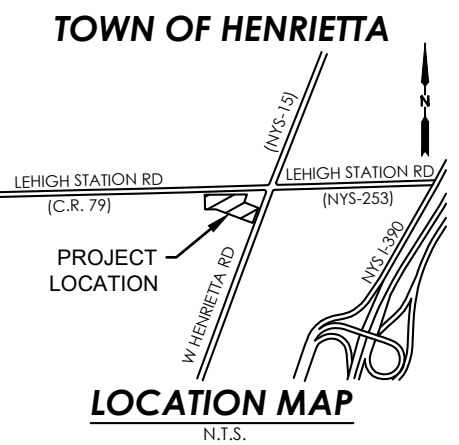
**TOWN OF HENRIETTA APPROVALS**

PLANNING BOARD CHAIRMAN	DATE
DIRECTOR OF BUILDING AND FIRE PREVENTION	DATE
FIRE MARSHALL	DATE
DIRECTOR OF ENGINEERING AND PLANNING	DATE
COMMISSIONER OF PUBLIC WORKS	DATE
DEPUTY COMMISSIONER OF PUBLIC WORKS	DATE



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REV	DATE	DESCRIPTION

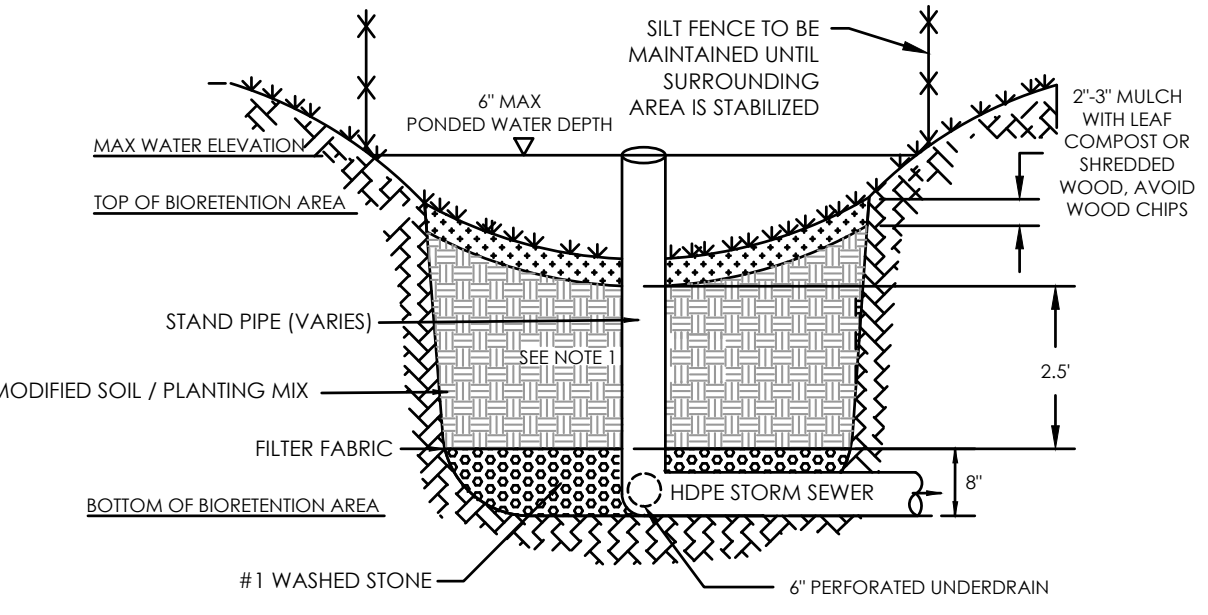
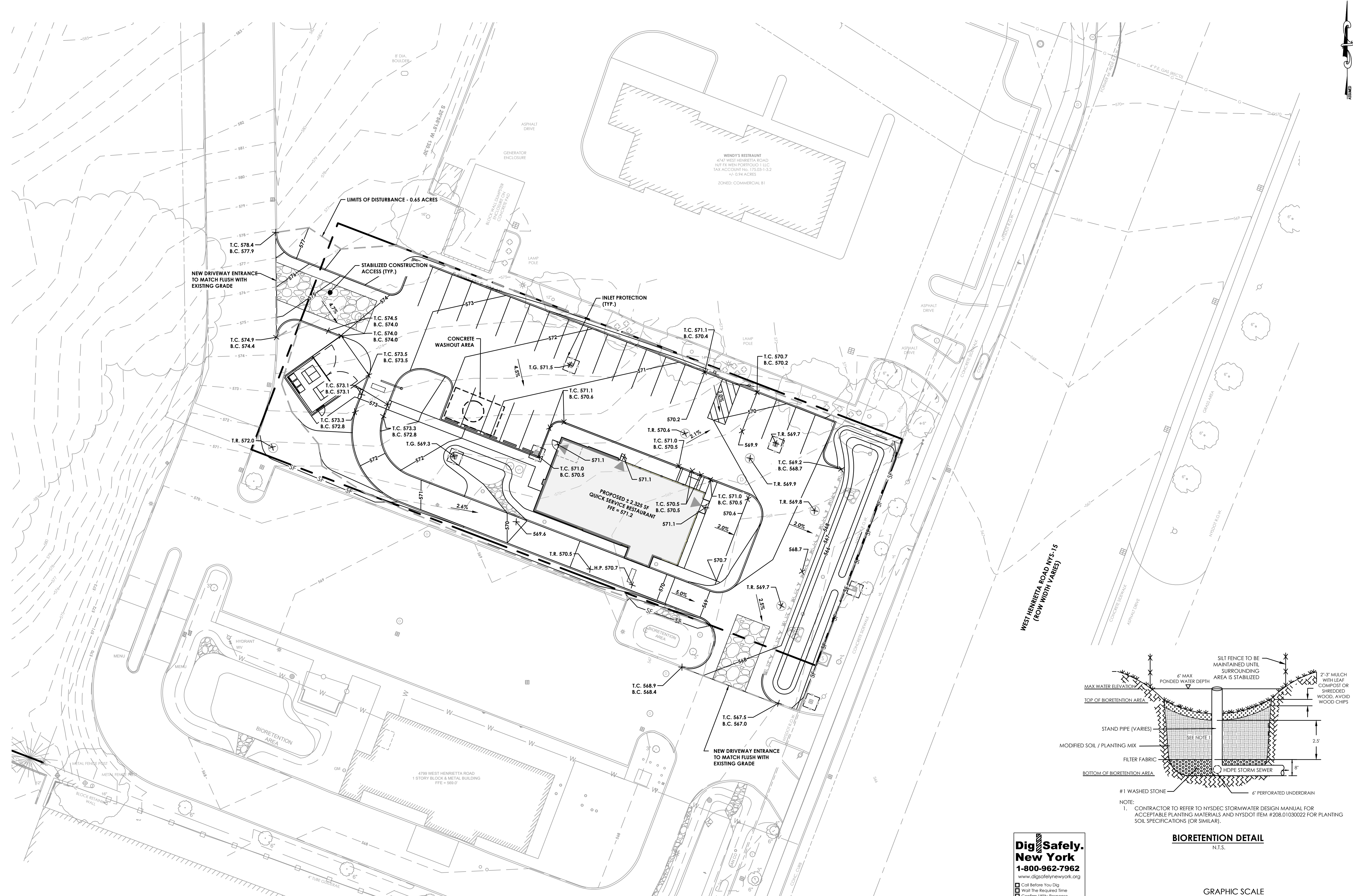
4799 WEST HENRIETTA ROAD  
 LOT 2 DEVELOPMENT

BEING A PART OF TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

DRAWING TITLE: GRADING PLAN

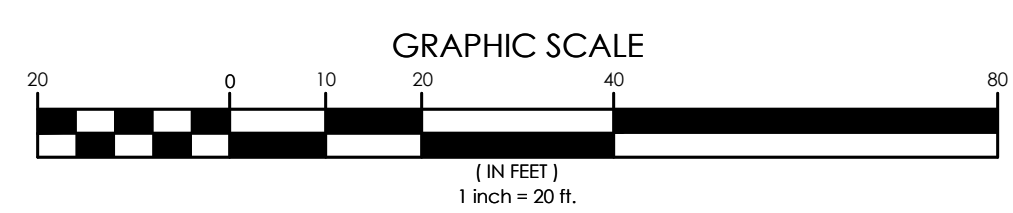
APPROVED BY: ESM PROJ. NO. 72240288  
 SHC  
 CHECKED BY: CAK DATE: 7/9/2024 PAGE SIZE: ANSI D

REV: 00 DRAWING NO: C5



NOTE:  
 1. CONTRACTOR TO REFER TO NYSDCE STORMWATER DESIGN MANUAL FOR ACCEPTABLE PLANTING MATERIALS AND NYSDOT ITEM #208.01030022 FOR PLANTING SOIL SPECIFICATIONS (OR SIMILAR).

BIORETENTION DETAIL  
 N.T.S.



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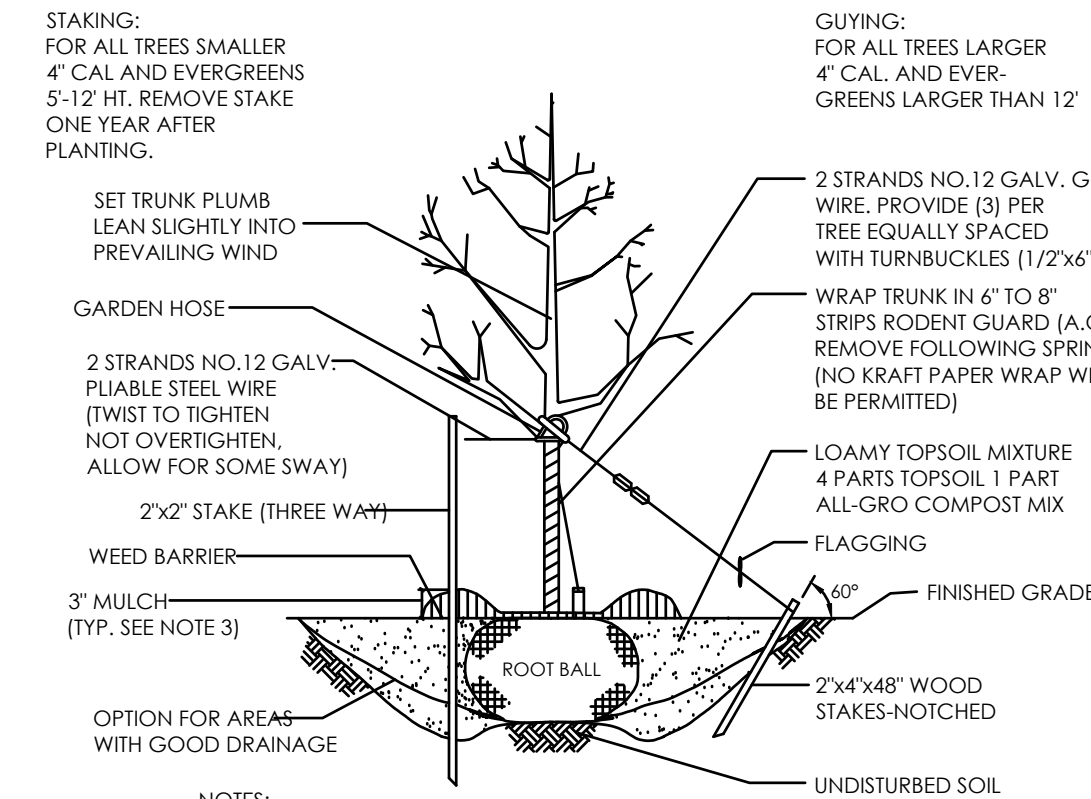
- Call Before You Dig
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- Confirm Utility Response
- Respect The Marks
- Dig With Care



**PLANT LIST**

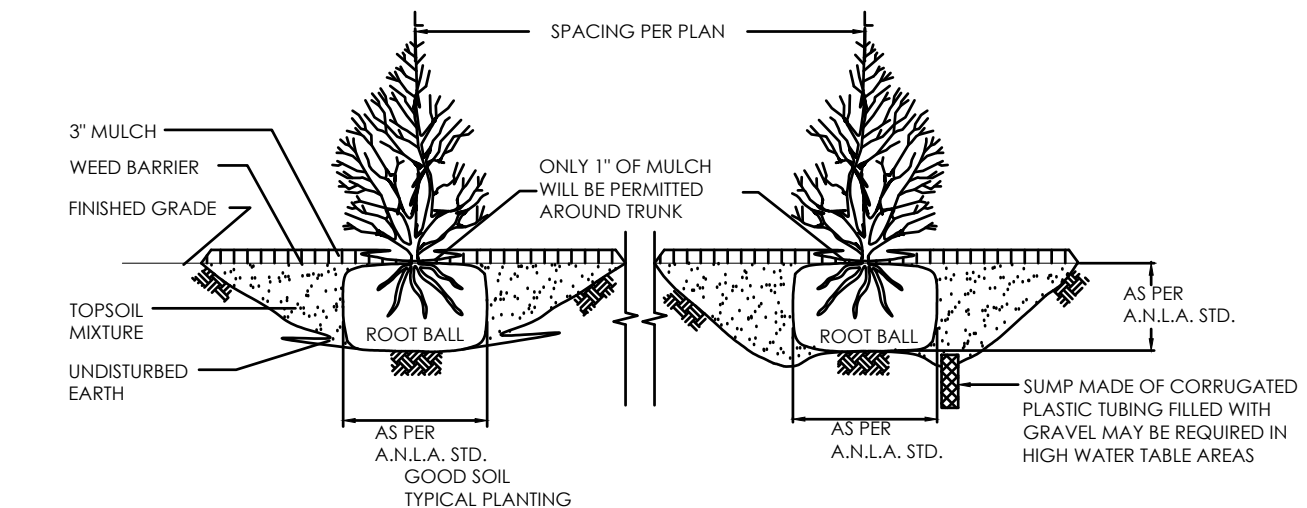
QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
TREES						
1	AC	ACER X.FREEMANII 'CELEBRATION'	CELEBRATION MAPLE	B&B	2" CAL.	-
5	CW	CARNIPUS CAROLINA 'AUTUMN FIRE'	AUTUMN FIRE HORNBEEAM	B&B	2" CAL.	-
9	JH	JUNIPERUS CHINENSIS 'HETZII'	HETZ COLUMNAR JUNIPER	B&B	5-6' HT	-
1	SI	SYRINGA RET. 'IVORY SILK'	IVORY SILK TREE LILAC	B&B	2" CAL	-

QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
SHRUBS						
5	SS	SPIRAEA JAPONICA 'SHIROBANA'	SHIROBANA SPIREA	#3 CONT.	24" SPR.	-
6	JB	JUNIPERUS CONFERTA 'BLUE PACIFIC'	BLUE PACIFIC JUNIPER	# 3 CONT.	18" SPR.	-
1	PP	PICEA ABIES 'PENDULA'	WEeping NORWAY SPRUCE	B&B	4" WIDE	SPECIMEN
3	SK	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	#5 CONT.	36" HT	-
ANNUALS/PERENNIALS						
4	PH	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	CLUMP	#3 CONT.	-



- NOTES:**
- USE 8' STAKES-DRIVE 48" BELOW GROUND.
  - ROOT COLLAR TO BE SLIGHTLY ABOVE SURROUNDING GRADE.
  - MULCH CAN NOT BE MORE THAN 1" THICK AT ROOT COLLAR EXTENDING OUT AT LEAST 6" FROM THE BARK, THEN IT CAN BE THICKENED.
  - MULCH IS TO BE PLACED 3" TO 6" AWAY FROM THE TRUNK.
  - MULCHING AROUND TREE TO HAVE A DIAMETER OF 6' MINIMUM.

**TREE PLANTING DETAIL**  
NOT TO SCALE



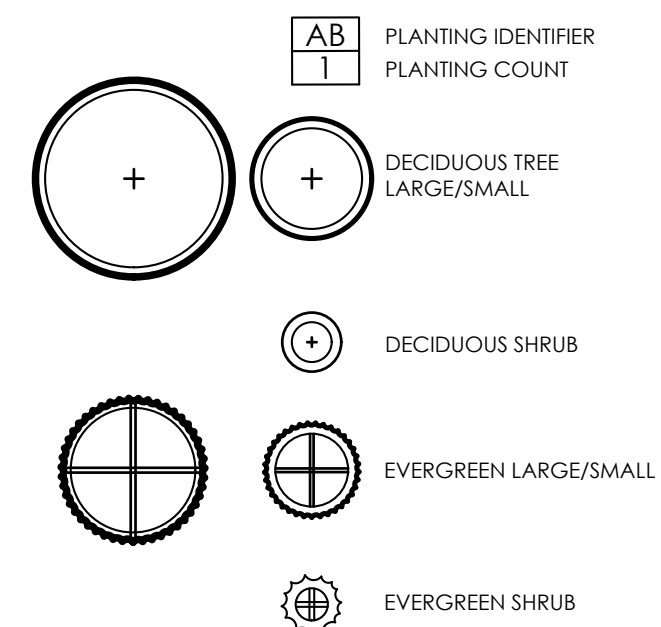
- NOTES:**
- IF ROOT BALL IS COVERED IN BURLAP, REMOVE TOP 1/3 OF THE BURLAP.
  - PRUNE BROKEN BRANCHES TO RETAIN NATURAL FORM OF THE SHRUB.

**SHRUB PLANTING DETAIL**  
NOT TO SCALE

**PLANTING NOTES**

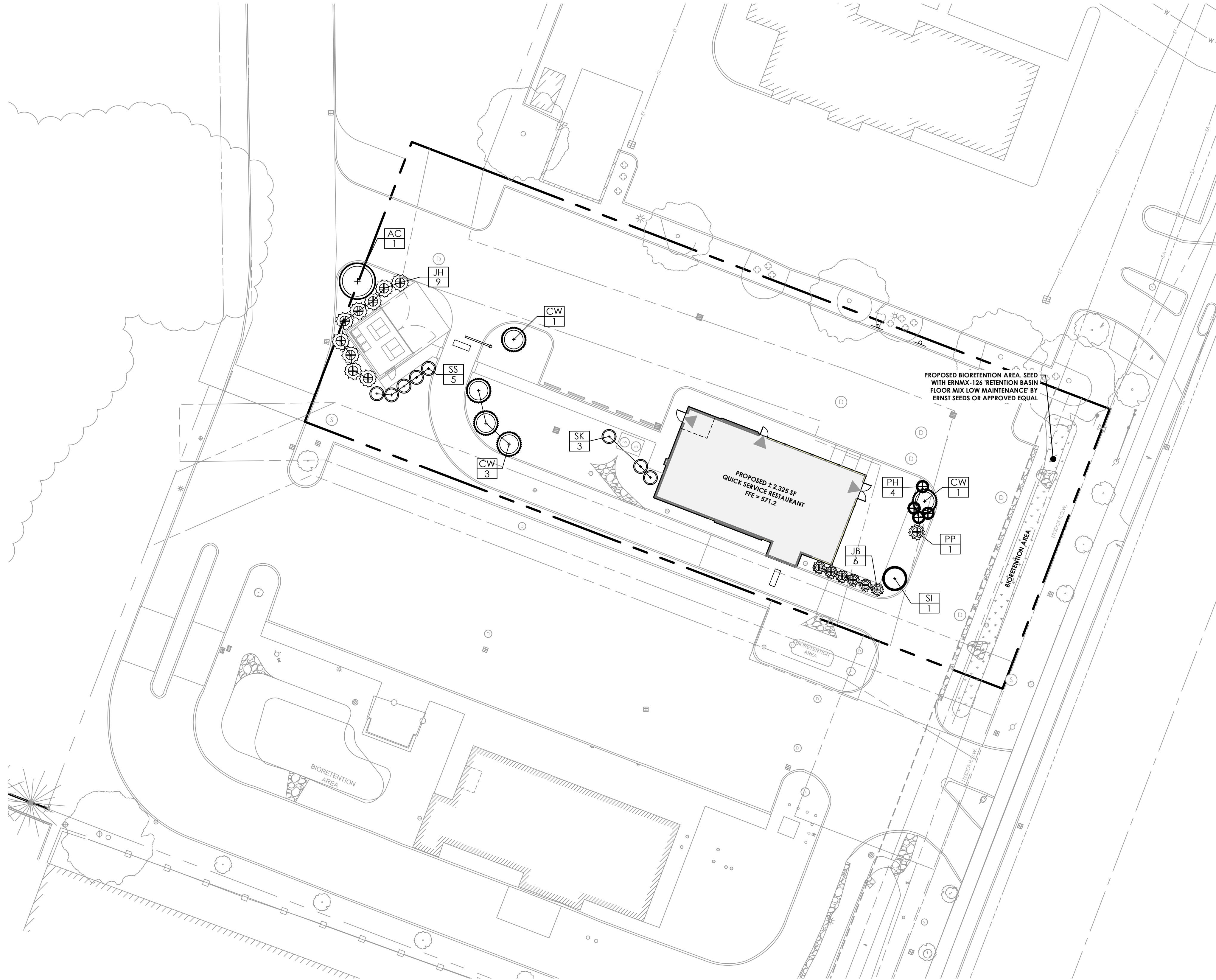
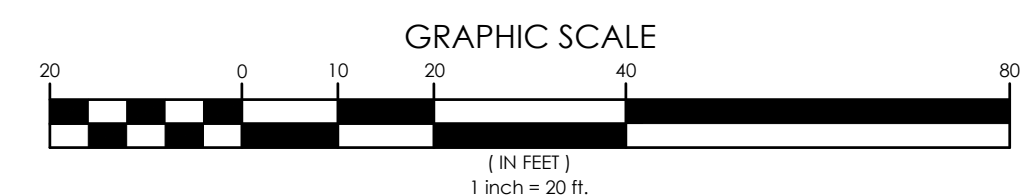
- MULCH AROUND INDIVIDUAL PLANTS ONLY. SHREDDED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE PRETREATMENT AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.
- THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE.
- ROOT STOCK OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT AND ON-SITE STORAGE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION.
- TREES SHALL BE BRACED USING 2" X 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.
- GRASSES AND LEGUME SEED SHALL BE TILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLOTS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS.
- ALL DISTURBED UNSURFACED AREAS SHALL RECEIVE MIN. SIX INCHES OF TOPSOIL, SEED AND MULCH, AND SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- NO IRRIGATION SYSTEM TO BE INSTALLED. CONTRACTOR SHALL PROVIDE HARDY TREES SUITABLE FOR USE IN THE SOIL AND CLIMATE CONDITIONS OF THE PROJECT, AND PROVIDE THE OWNER WITH A BONDED WRITTEN ONE-YEAR MAINTENANCE/WARRANTY AGREEMENT PER THE SPECIFICATIONS.
- ANY PROPOSED DEVIATION TO THE LANDSCAPE PLAN MUST FIRST BE REVIEWED AND APPROVED BY THE PLANNING BOARD CHAIRMAN AND THE DIRECTOR OF ENGINEERING/PLANNING PRIOR TO THE INSTALLATION OF THE PROPOSED LANDSCAPING CHANGES UPON COMPLETION AND ACCEPTANCE OF THE LANDSCAPING. A THREE(3) YEAR MAINTENANCE GUARANTEE IS REQUIRED. A CHECK IN THE AMOUNT OF 10% OF THE TOTAL LANDSCAPING COST WILL NEED TO BE FURNISHED TO THE TOWN OF HENRIETTA.

**PLANTING LEGEND**



**TOWN OF HENRIETTA APPROVALS**

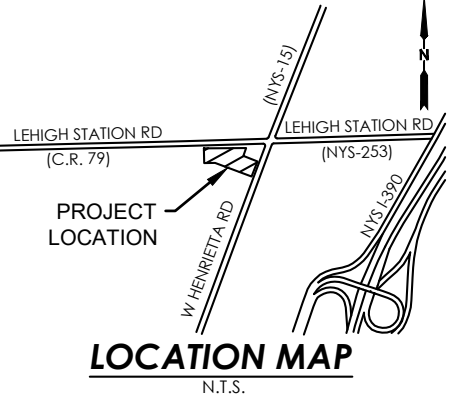
PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



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BUILDING A, SUITE 100  
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**TOWN OF HENRIETTA**



HEINRICH W. FISCHER, R.L.A.

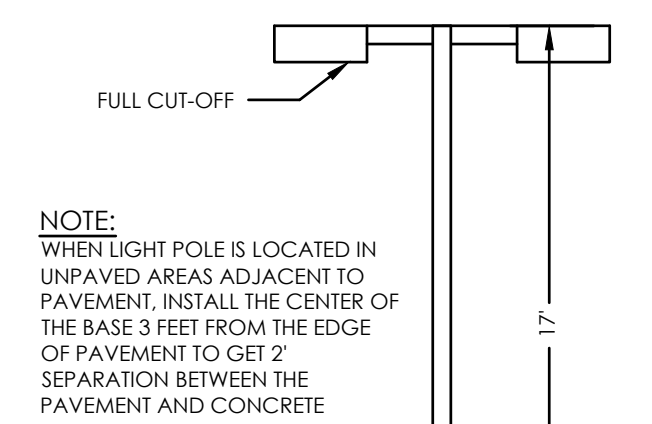
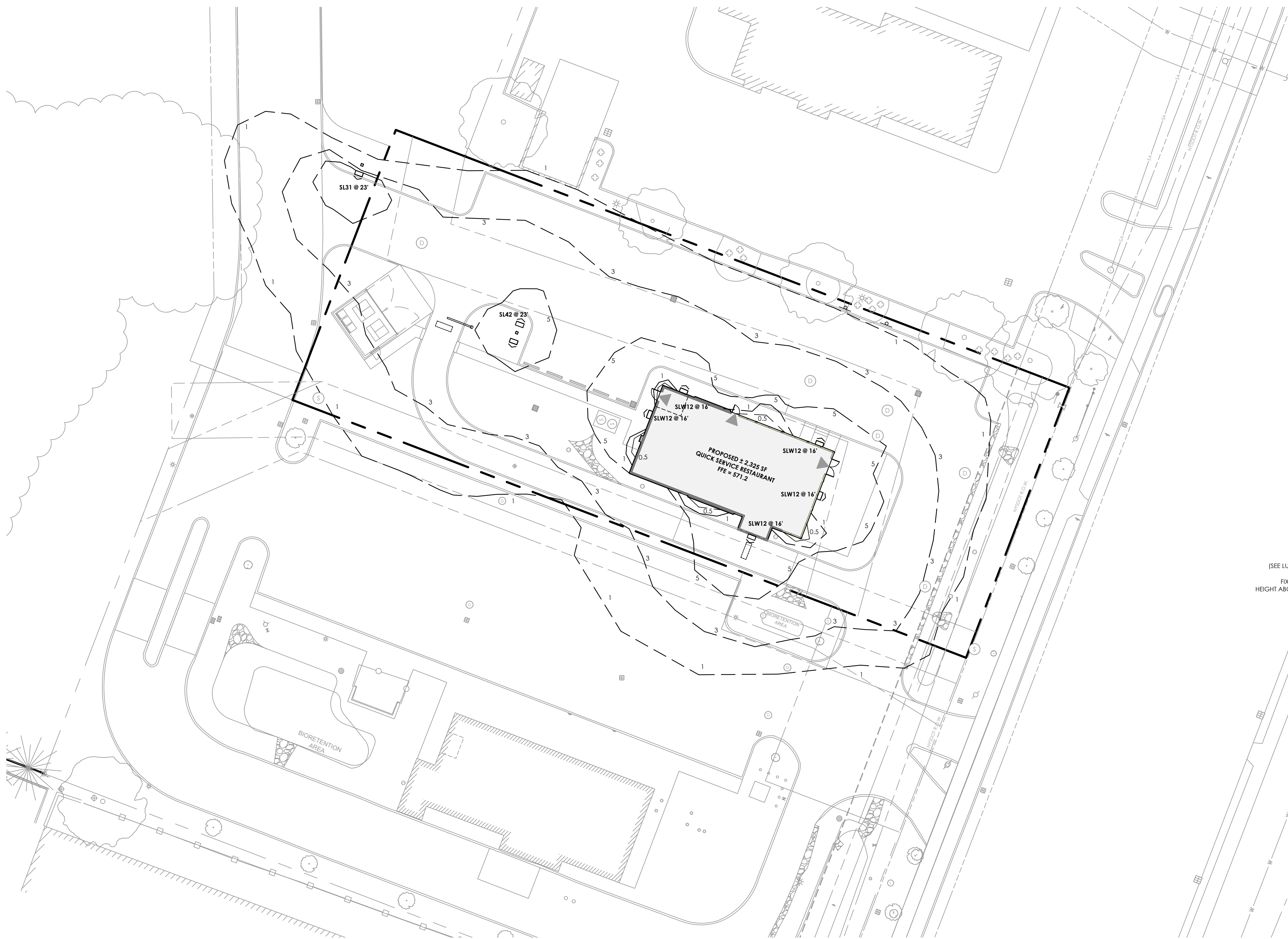
DATE	DESCRIPTION

4799 WEST HENRIETTA ROAD  
LOT 2 DEVELOPMENT  
BEING A PART OF TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK  
DRAWING TITLE: **LANDSCAPING PLAN**  
DRAWN BY: SHC  
CHECKED BY: CAK  
APPROVED BY: ESM  
PROJ. NO.: 72240288  
DATE: 7/19/2024  
PAGE SIZE: ANSI D

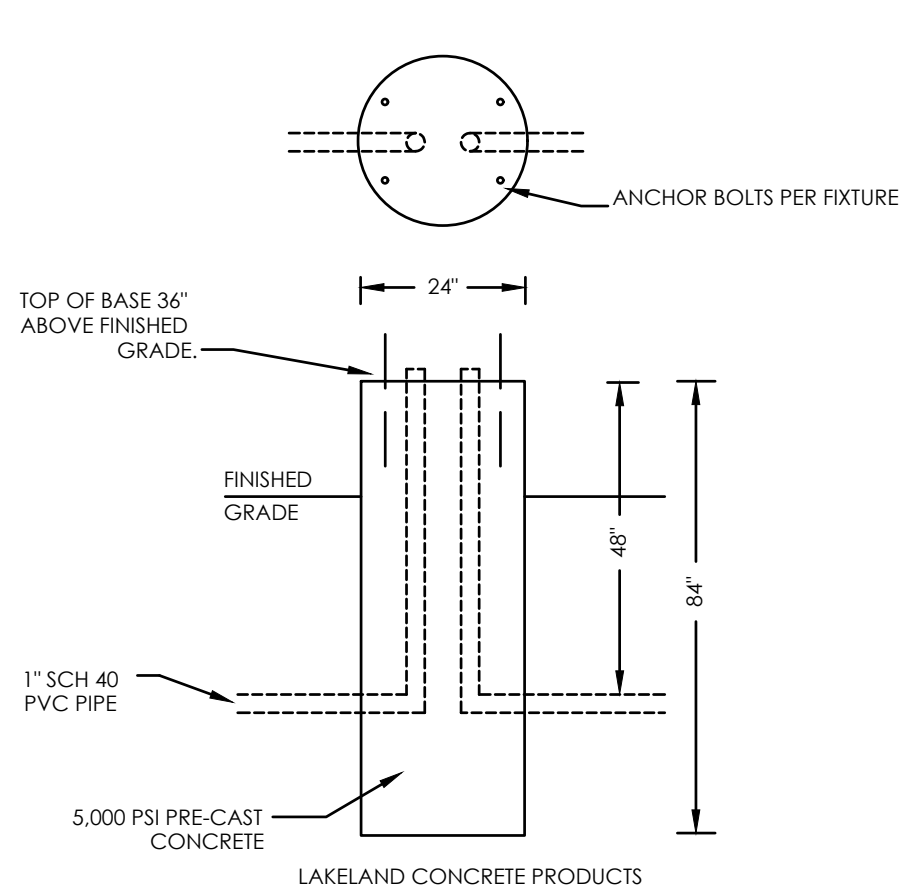
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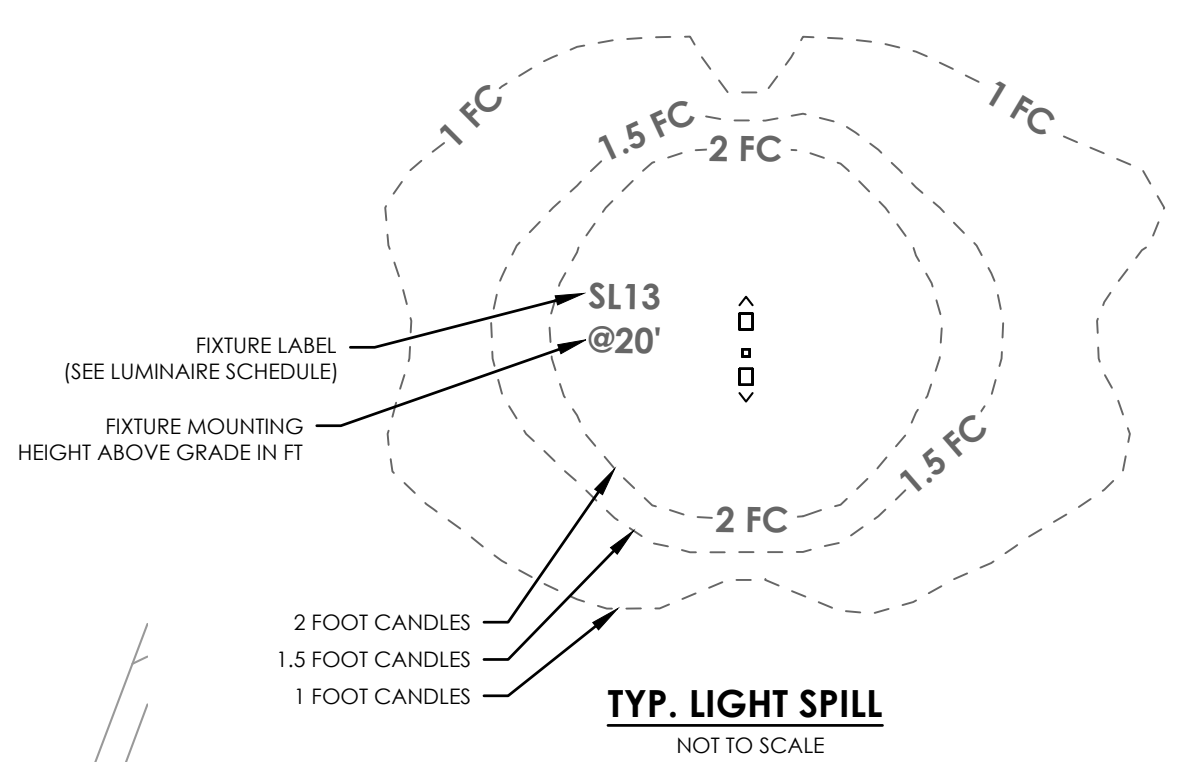
Schedule										
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Distribution
	SL31	1	Lithonia Lighting	RSX1 LED P4 40K R3	RSX Area Fixture Size 1 P4 Lumen Package 4000K CCT Type R3 Distribution	1	16359	0.92	133.14	TYPE III, SHORT, BUG RATING: B2 - U0 - G3
	SL42	1	Lithonia Lighting	RSX1 LED P4 40K R4	RSX Area Fixture Size 1 P4 Lumen Package 4000K CCT Type R4 Distribution	1	16573	0.92	266.28	TYPE IV, SHORT, BUG RATING: B2 - U0 - G3
	SLW12	4	Lithonia Lighting	WPX2 LED 40K Mvolt	WPX2 LED wallpack 6000lm 4000K color temperature, 120-277 Volt	1	5896	0.92	47.77	TYPE III, VERY SHORT, BUG RATING: B1 - U0 - G1



**LIGHT POLE DETAIL**  
NOT TO SCALE



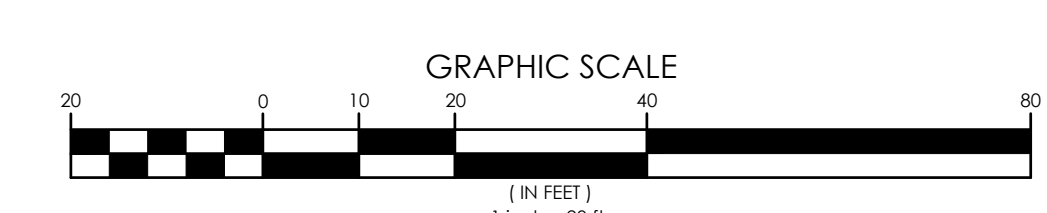
**LIGHT POLE BASE DETAIL**  
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**TYP. LIGHT SPILL**  
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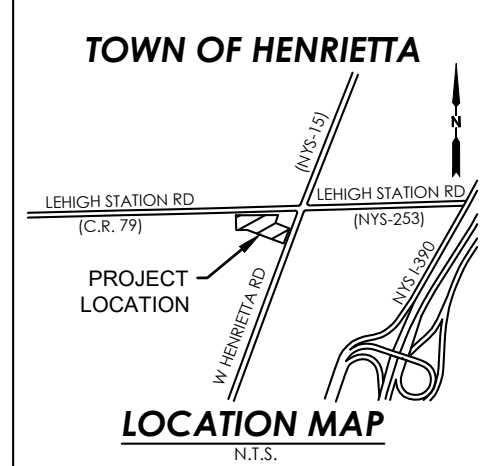
**TOWN OF HENRIETTA APPROVALS**

PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



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REV	DESCRIPTION	DATE

**4799 WEST HENRIETTA ROAD  
LOT 2 DEVELOPMENT**  
DRAWING TITLE: **LIGHTING PLAN**  
DRAWN BY: SHC | APPROVED BY: ESM | PROJ. NO: 72240288  
CHECKED BY: CAK | DATE: 7/9/2024 | PAGE SIZE: ANSI D

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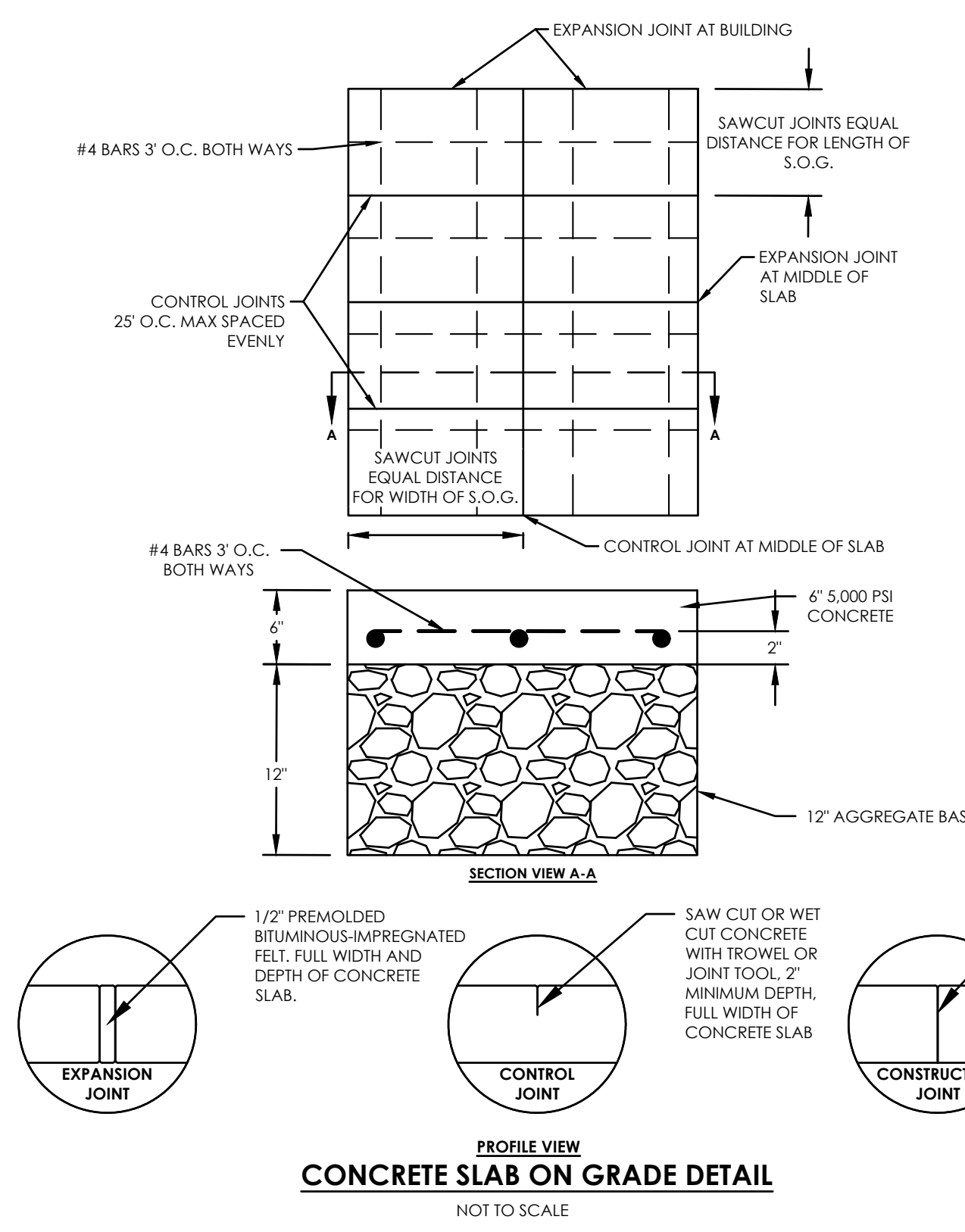
DATE	DESCRIPTION

4799 WEST HENRIETTA ROAD  
LOT 2 DEVELOPMENT  
BEING A PART OF TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK

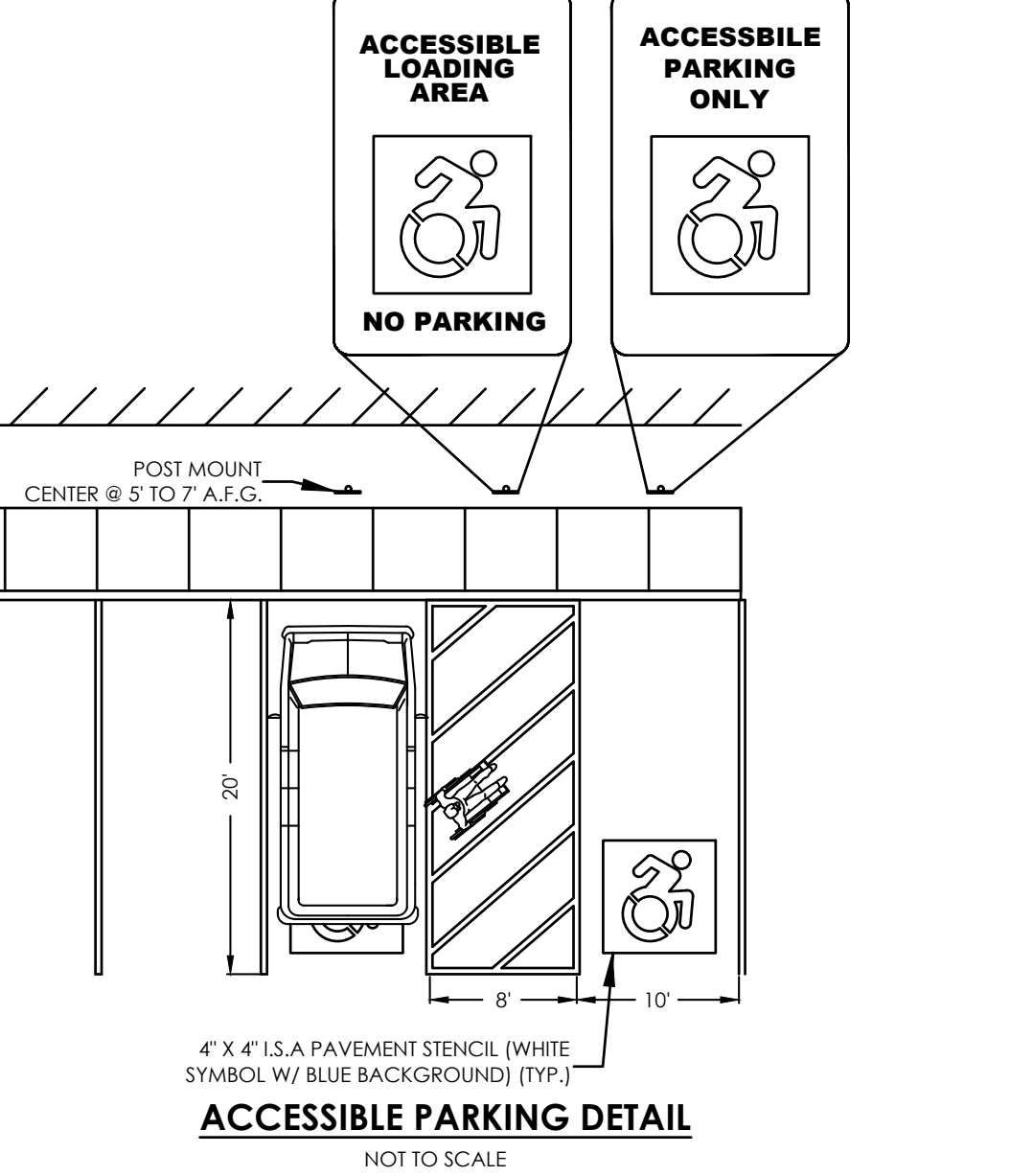
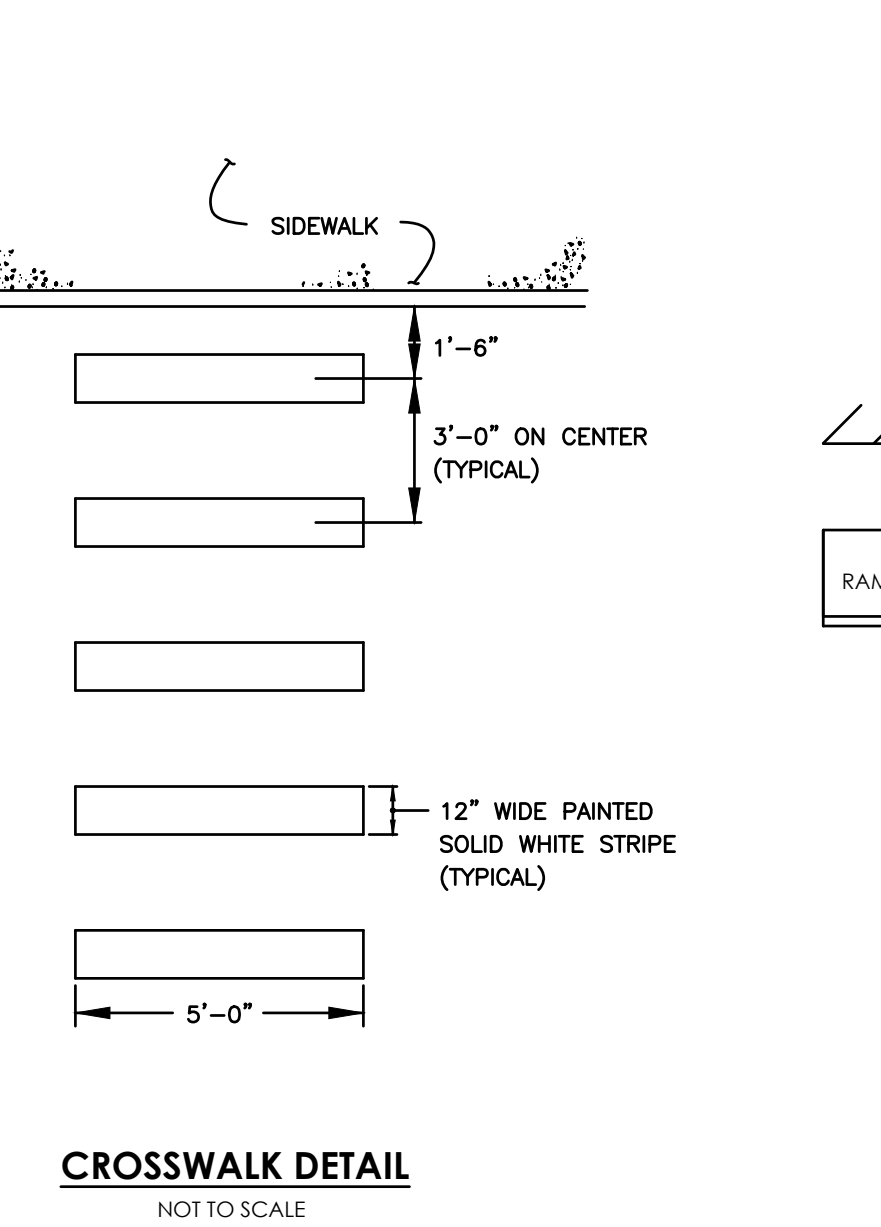
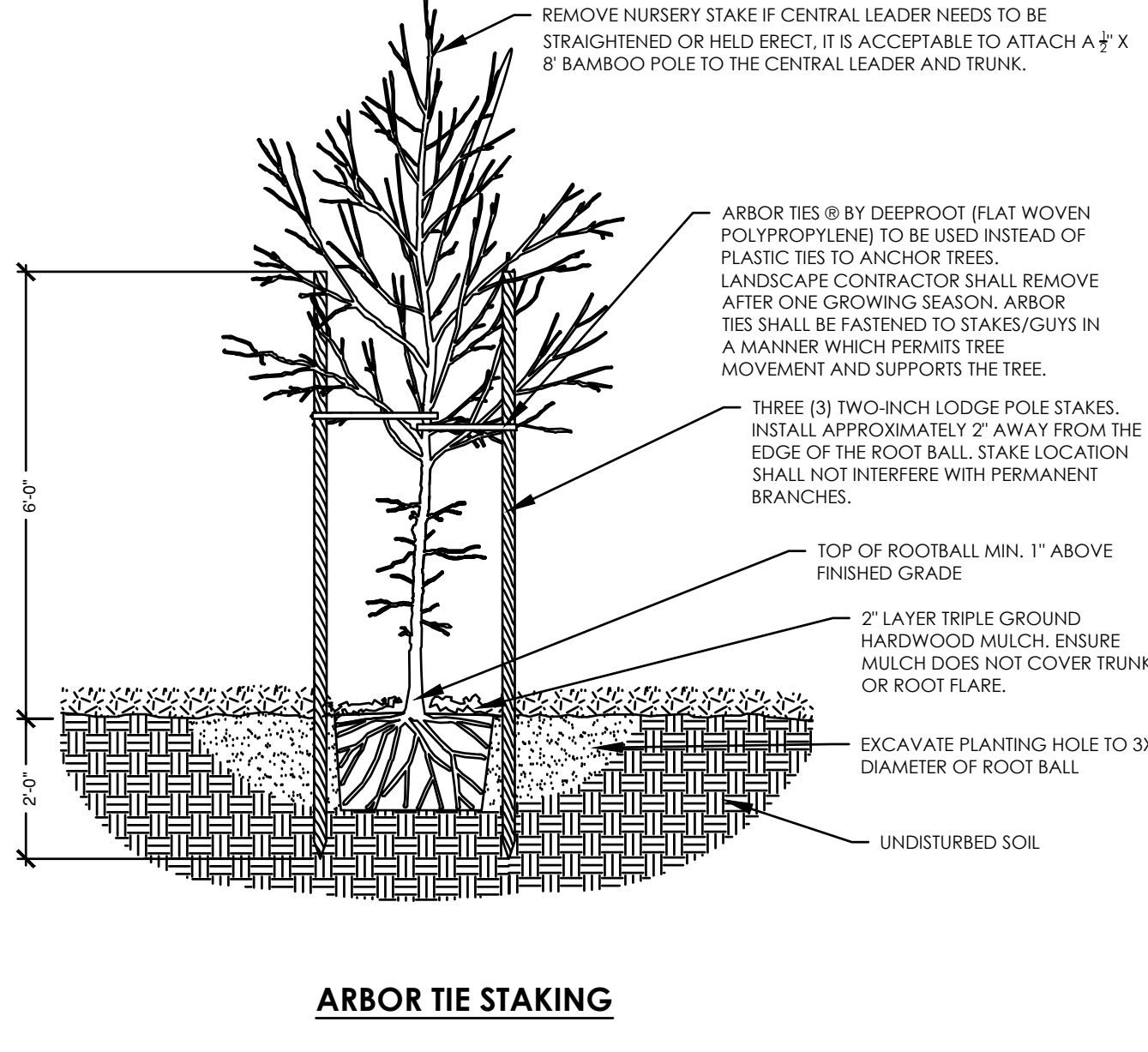
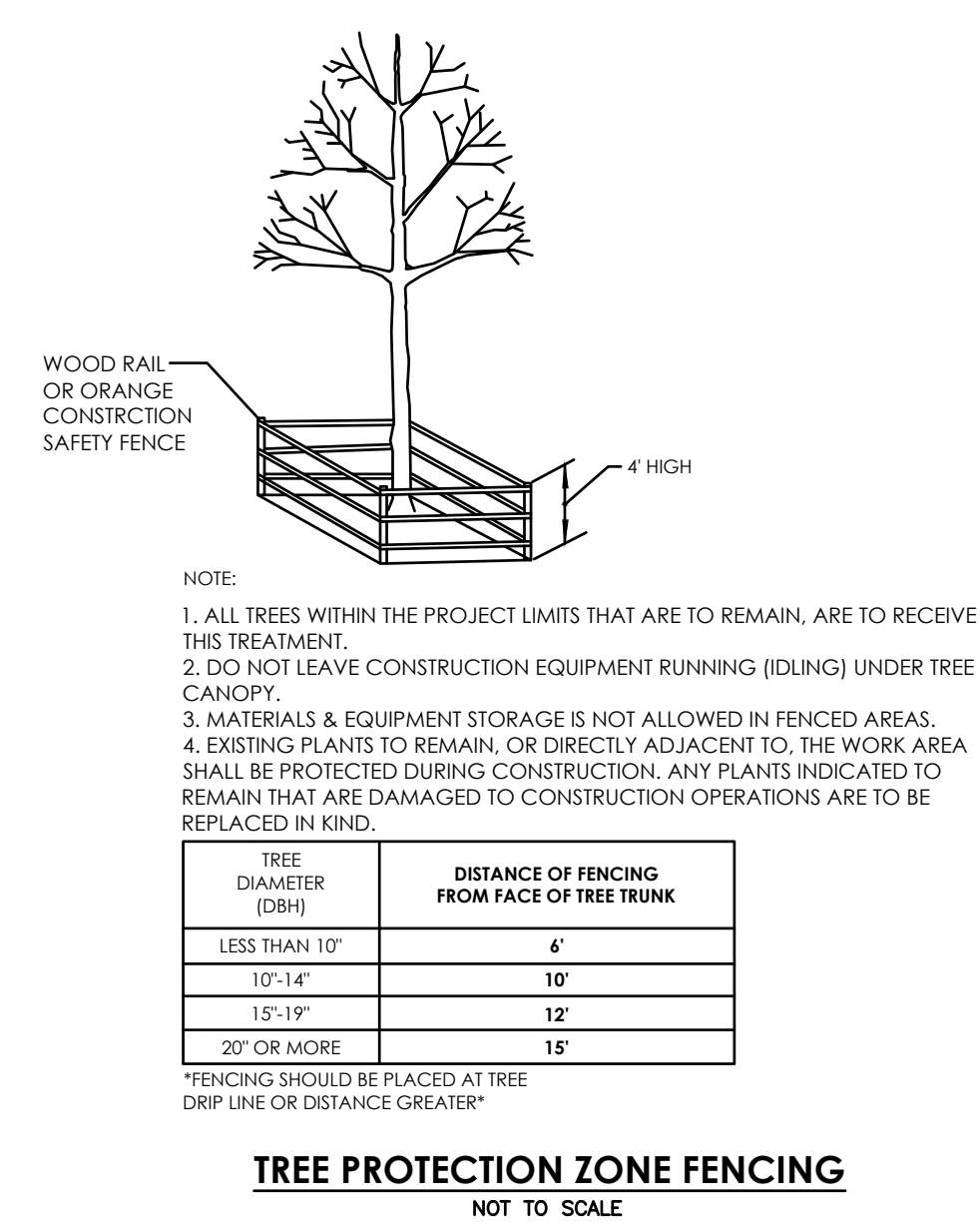
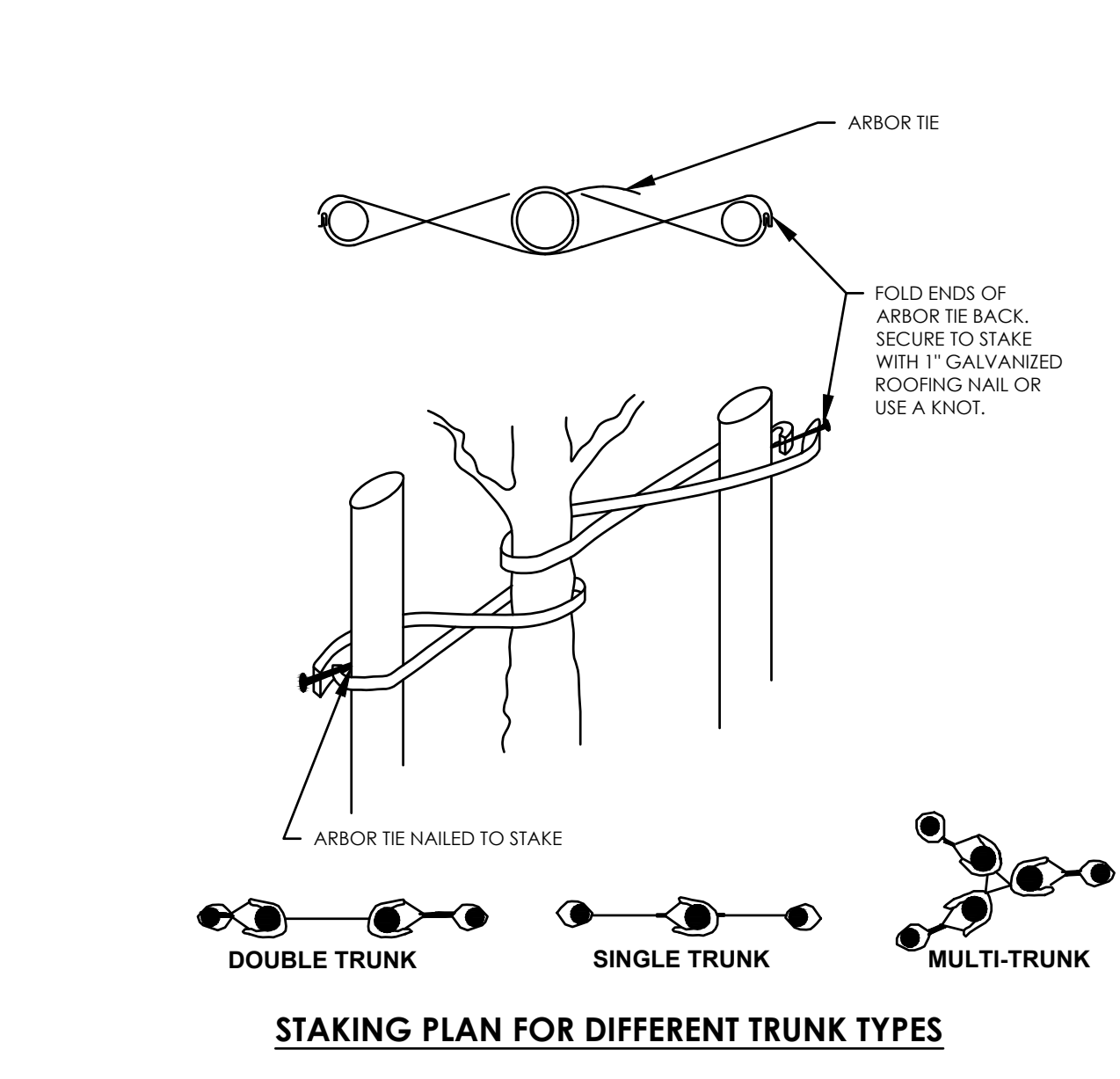
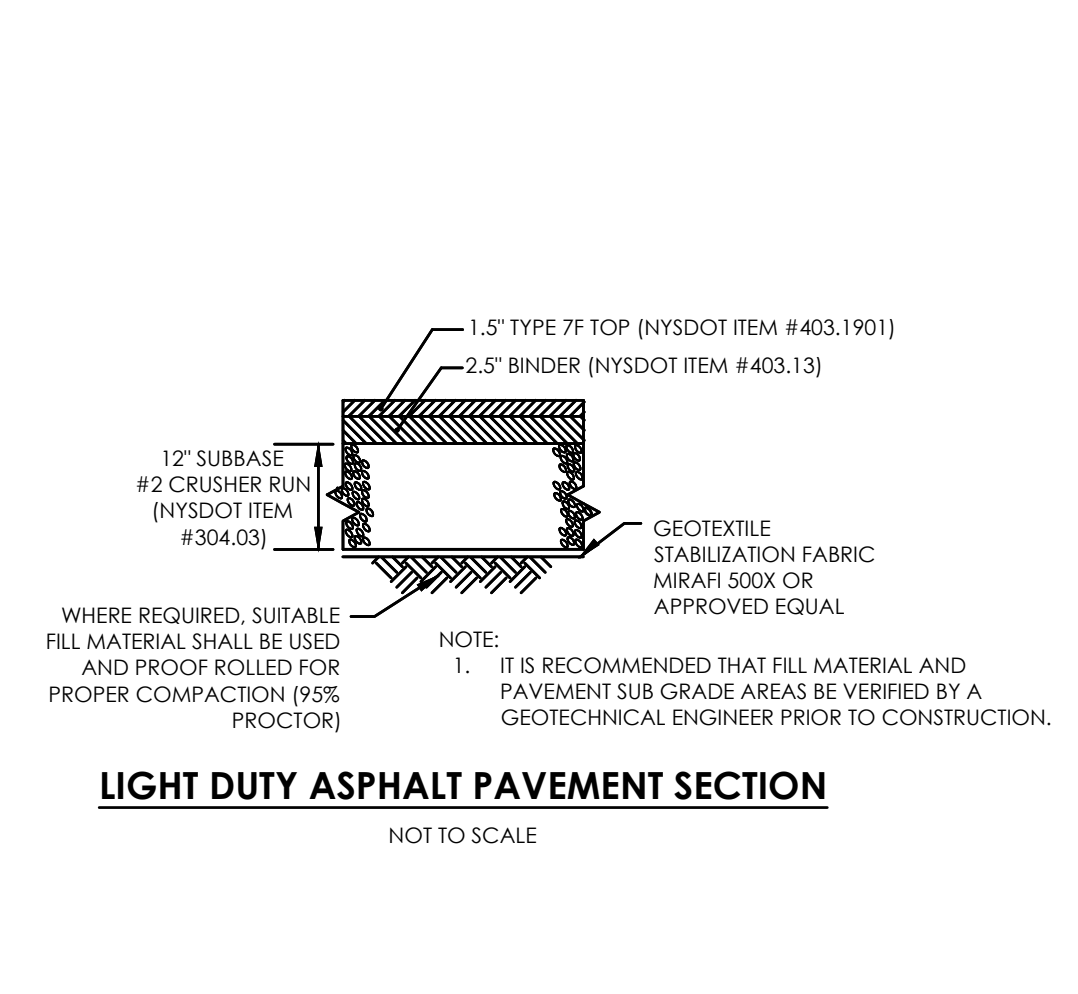
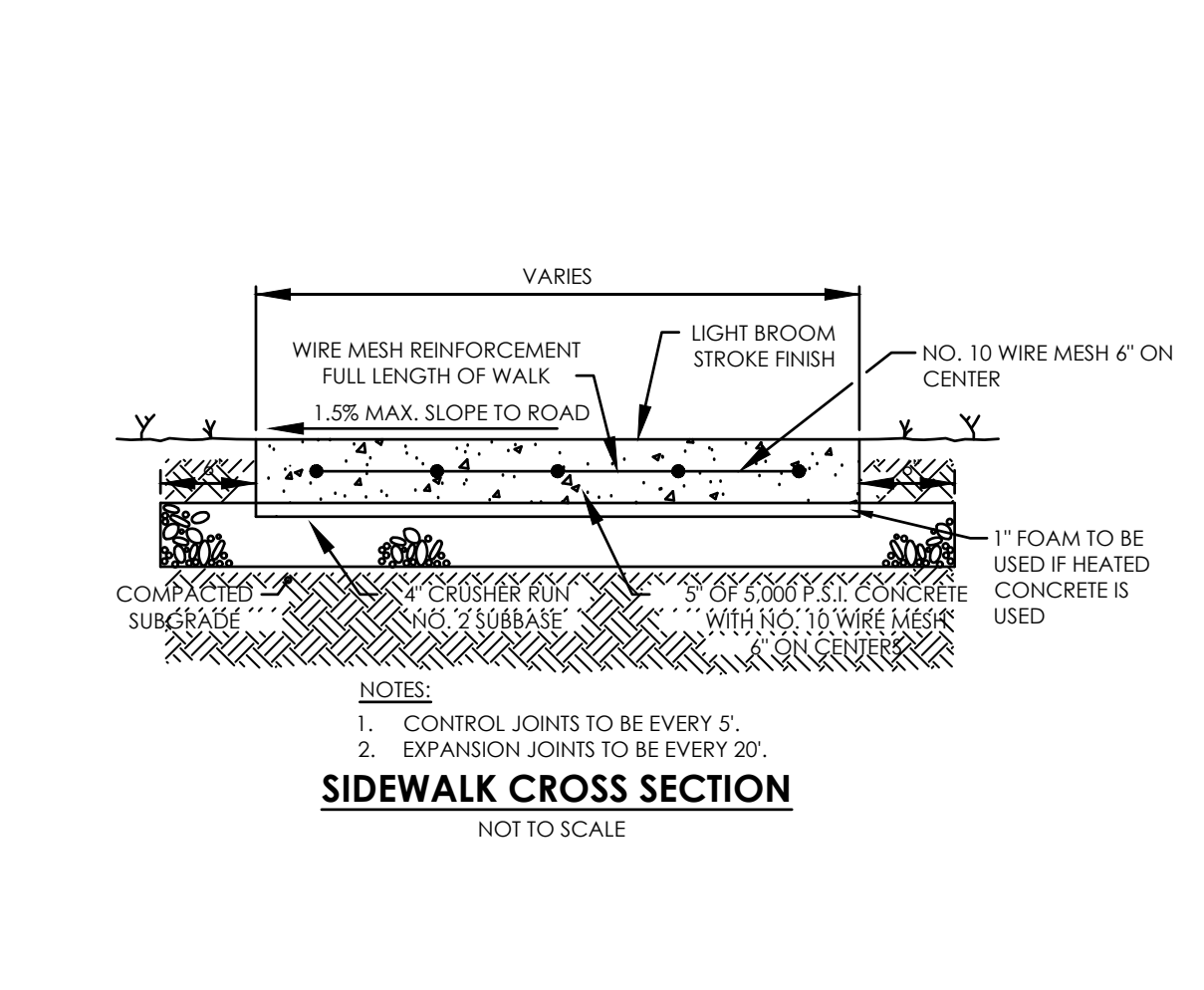
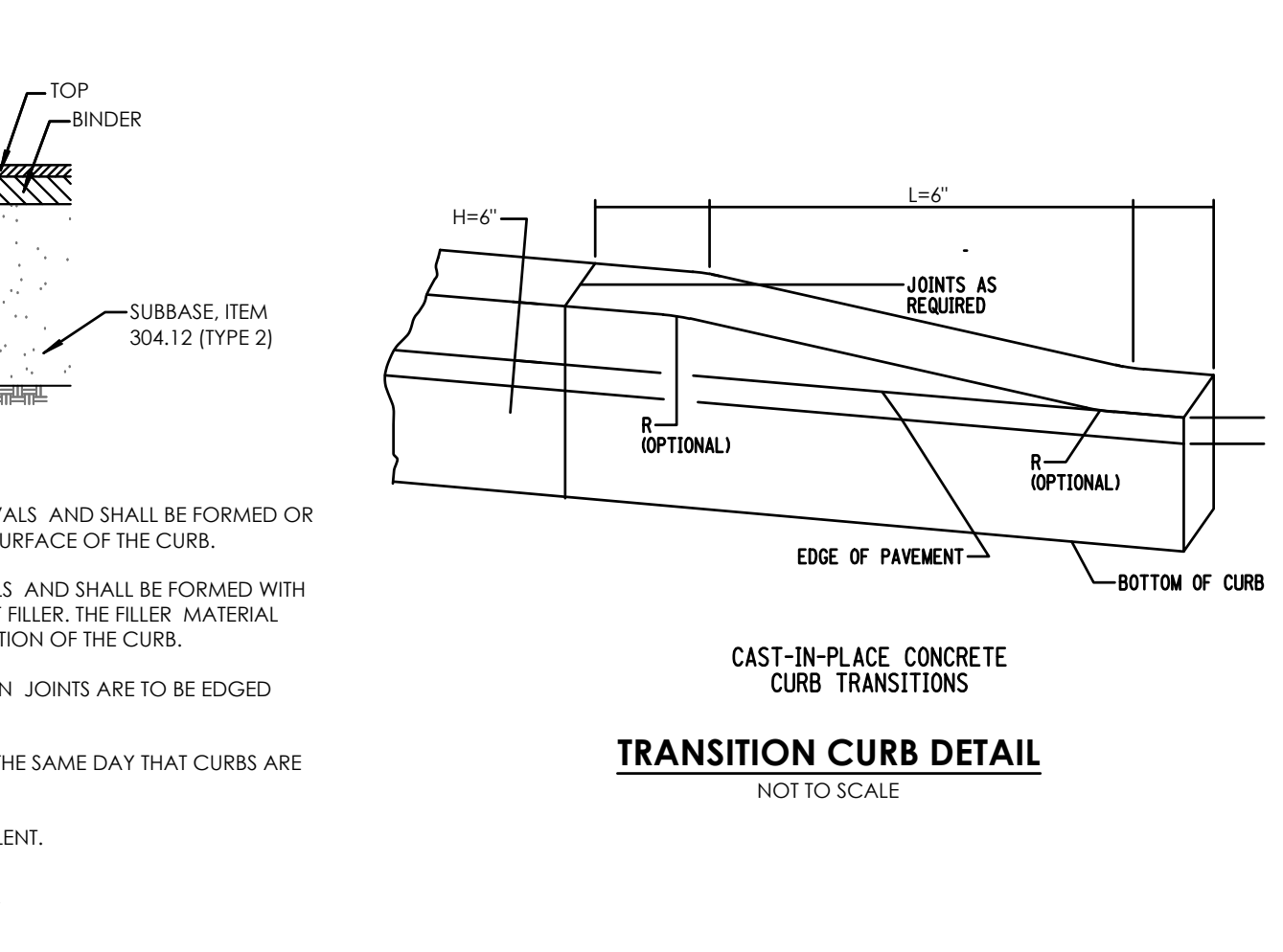
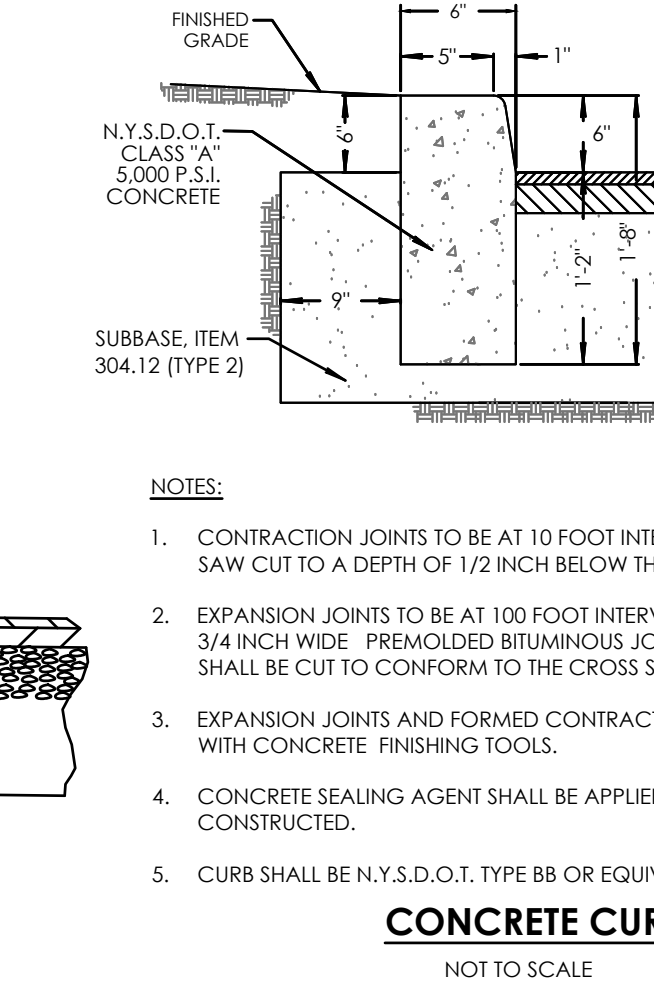
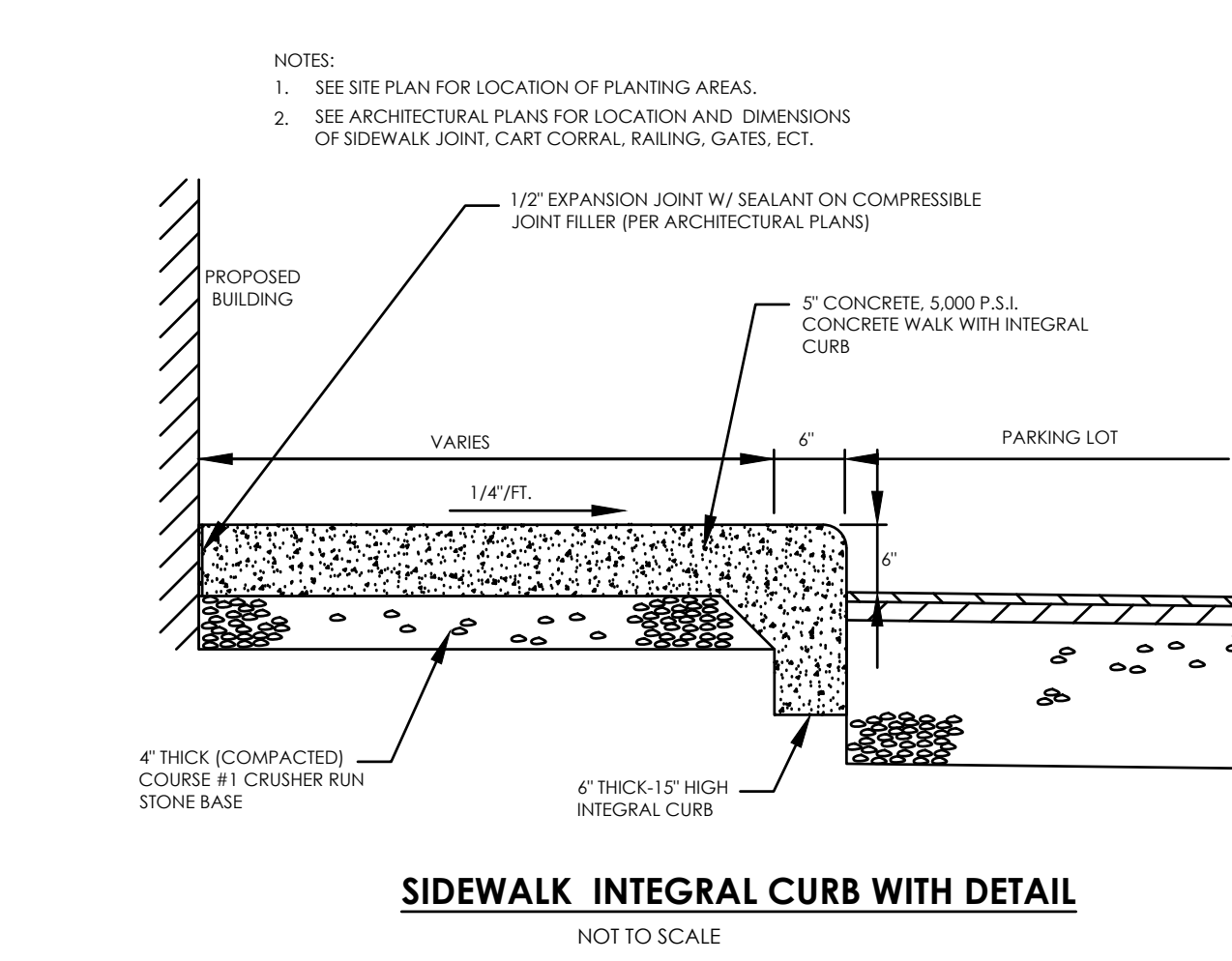
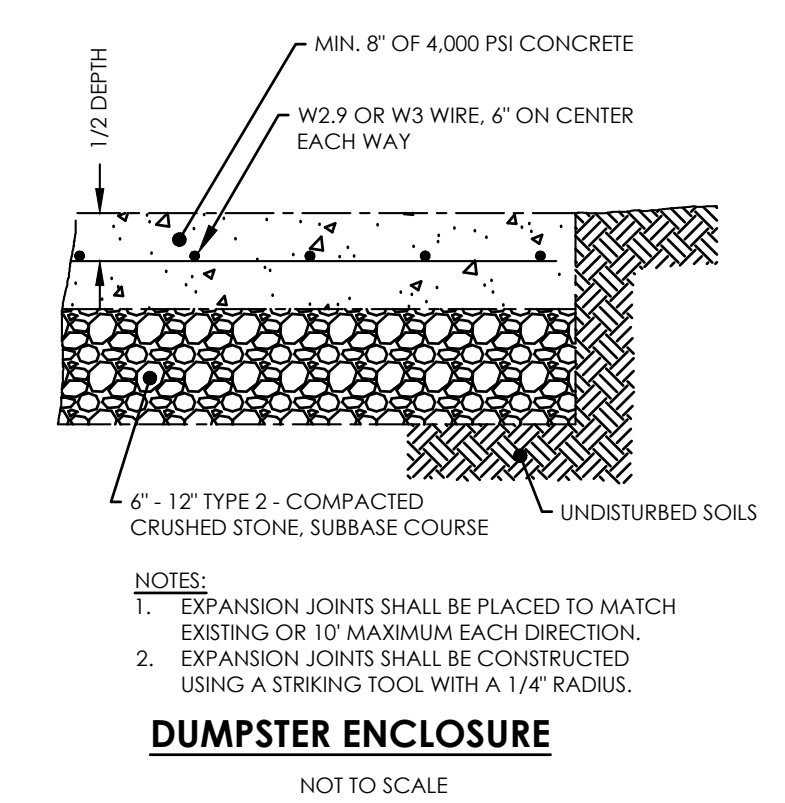
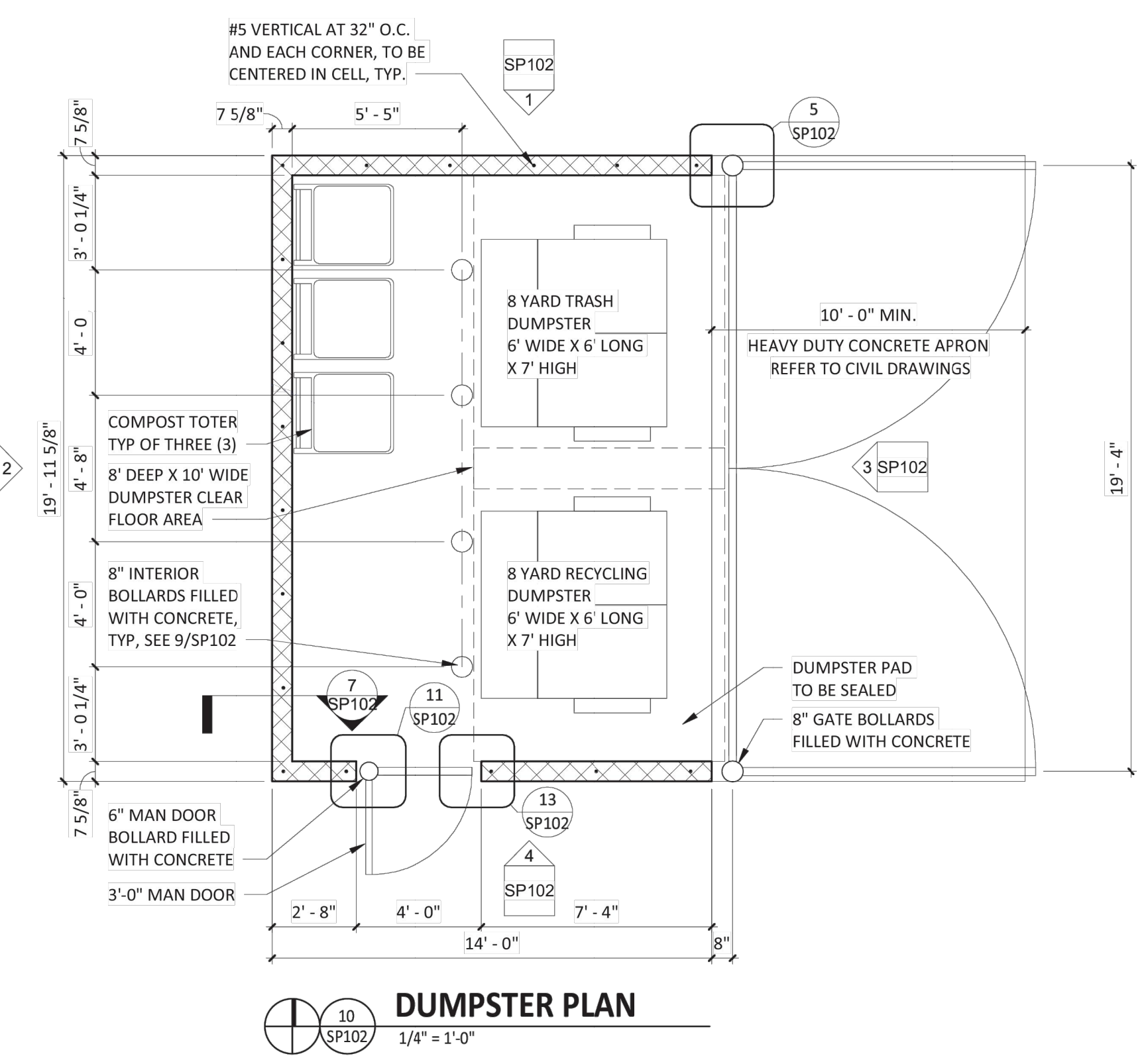
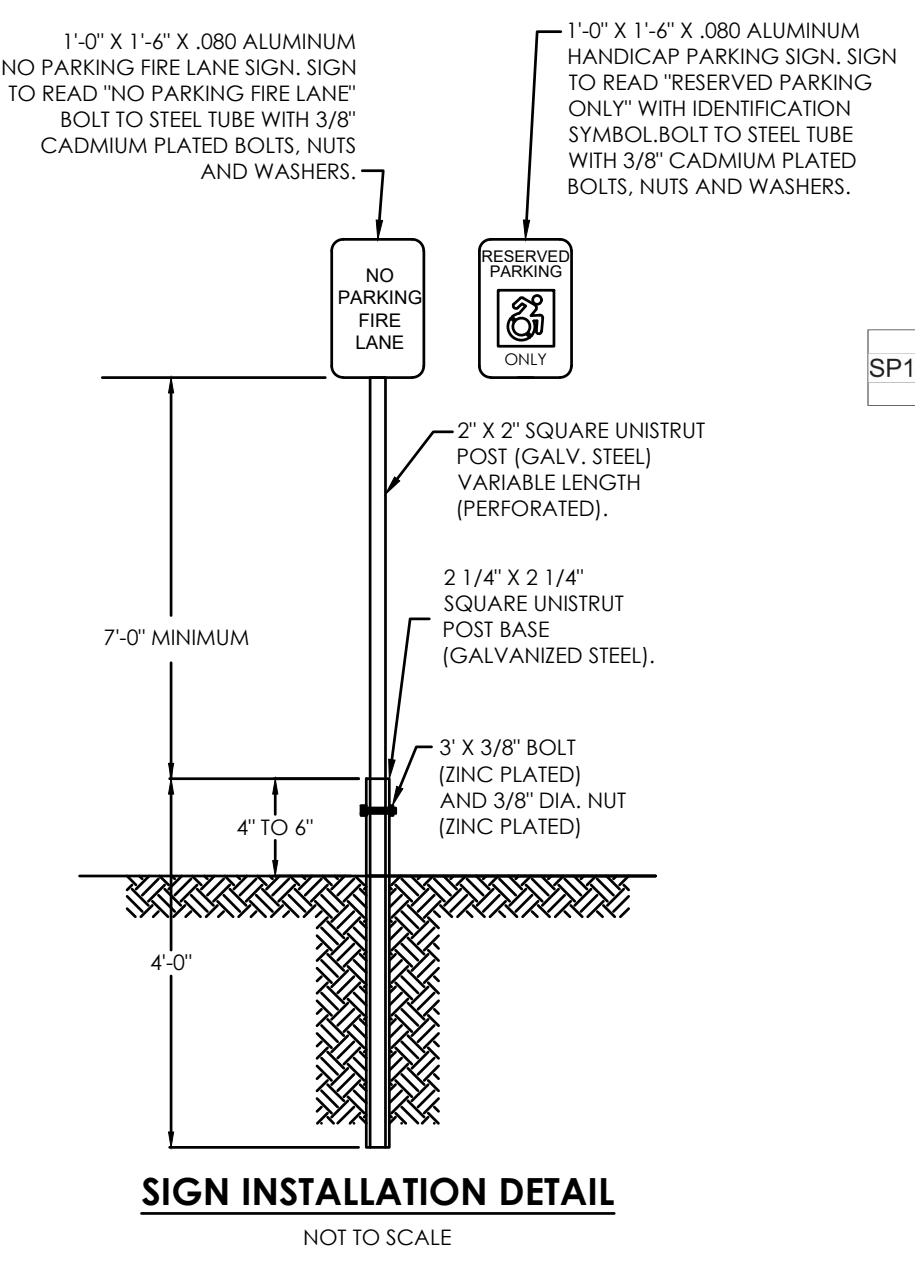
DRAWING TITLE: CONSTRUCTION DETAILS - 2

ESM PROJ. NO.: 72240288  
SHC APPROVED BY: ESM  
CAK DATE: 7/19/2024 PAGE SIZE: ANSI D

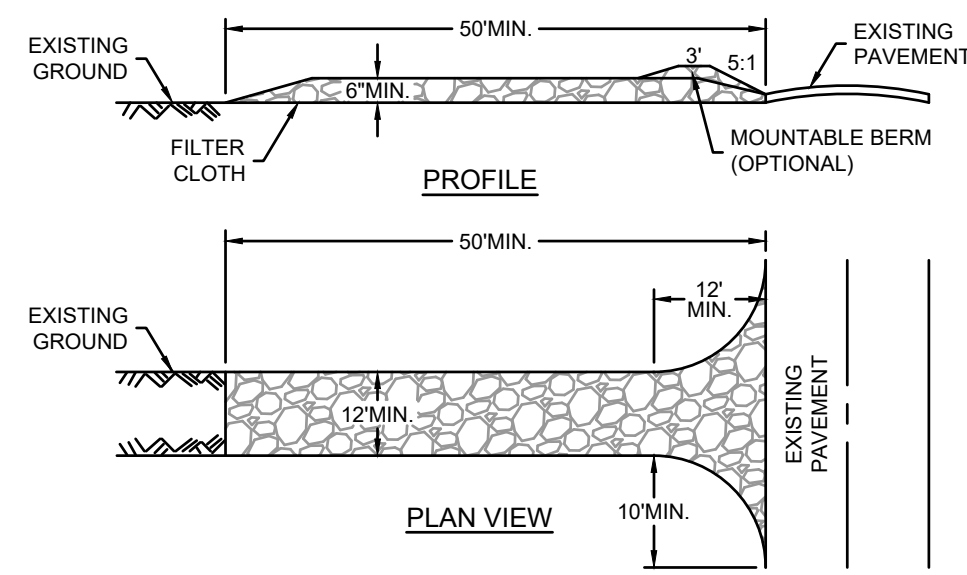
REV: 00 DRAWING NO: C9



- NOTES:
- 8" OF CONCRETE TO BE USED IN LOADING AND DUMPSTER AREAS.
  - THE GRAVEL OR STONE BASE SHALL BE PLACED ON A WELL GRADED AND COMPACTED SUBGRADE. THE GRAVEL OR STONE BASE SHALL BE THOROUGHLY COMPACTED.
  - ALL EXPOSED SURFACES SHALL BE BROUWED AND EDGES FINISHED WITH A 1/4" RADIUS EDGING TOOL. THE FINISHED CONCRETE SURFACE SHALL BE TREATED WITH A CLEAR, NON YELLOWING CURING COMPOUND.
  - ALL CONCRETE SHALL BE 6% AIR ENTRAINED.
  - NO CONCRETE SHALL BE PLACED BEFORE APRIL 20TH, OR AFTER OCTOBER 31ST. NO CONCRETE SHALL BE PLACED UNLESS THE AMBIENT AIR AND BASE MATERIAL SURFACE TEMPERATURE IS ABOVE 40 DEGREES.
  - ALL WORK SHALL CONFORM TO ADA REQUIREMENTS.



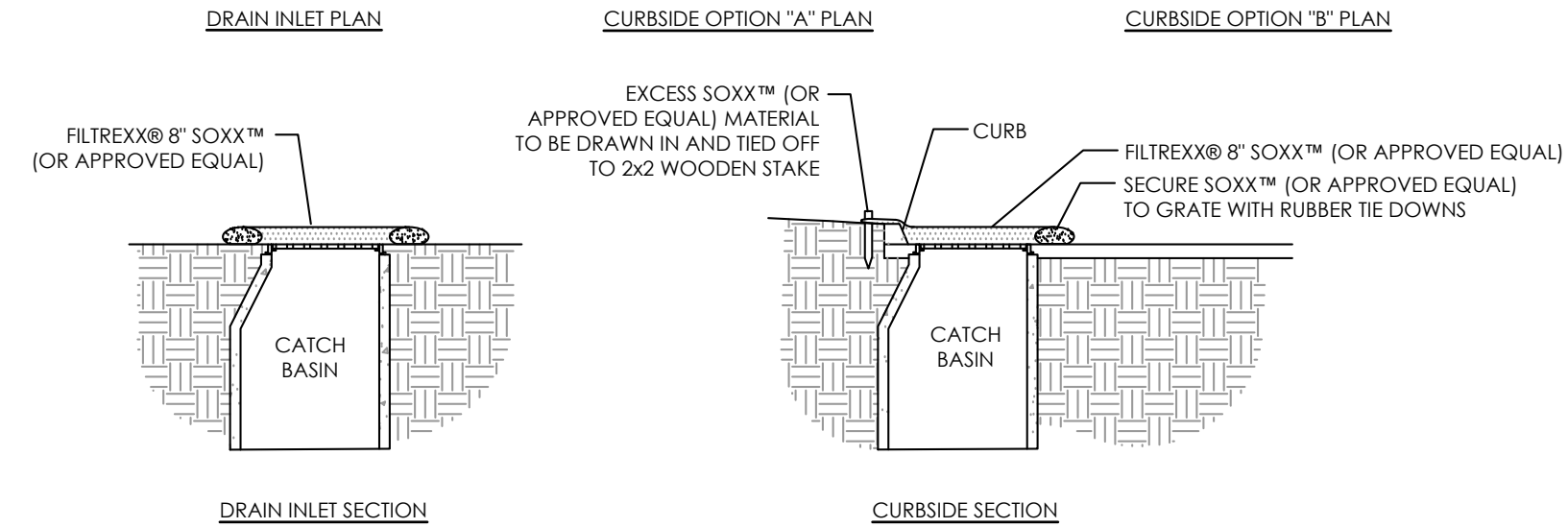
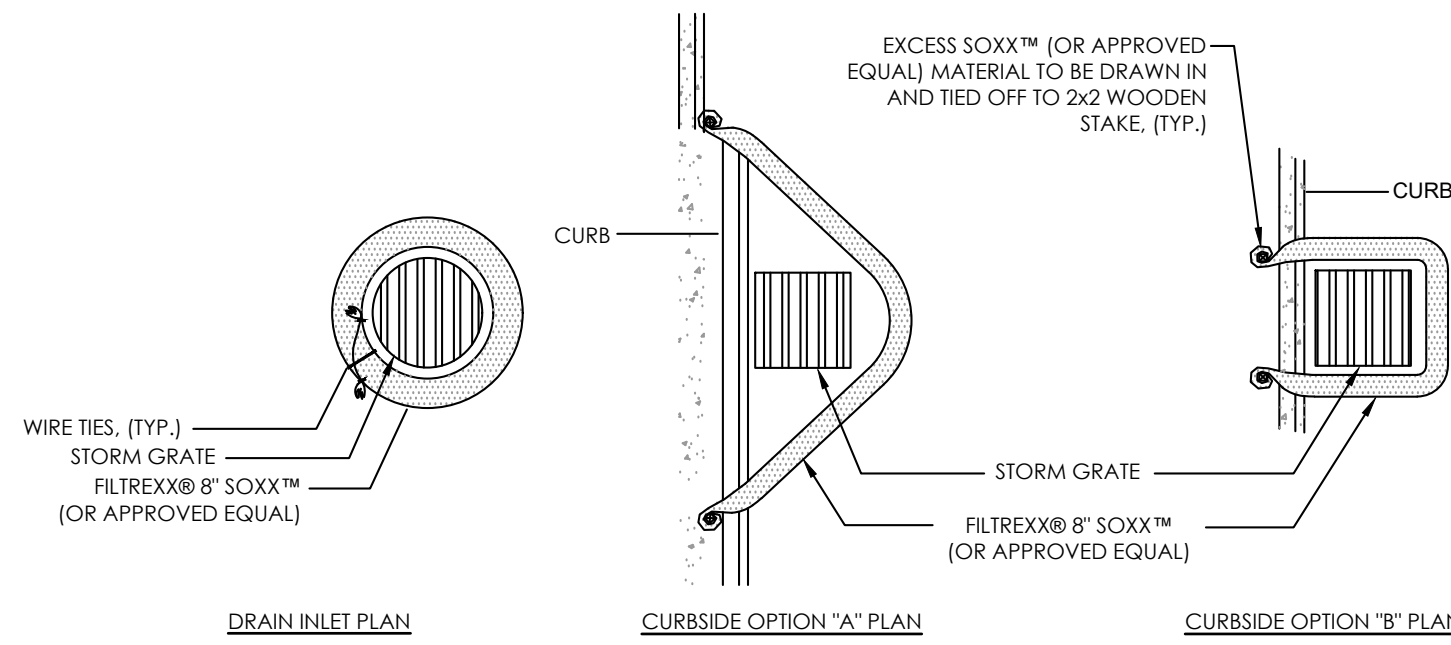
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**CONSTRUCTION SPECIFICATIONS**

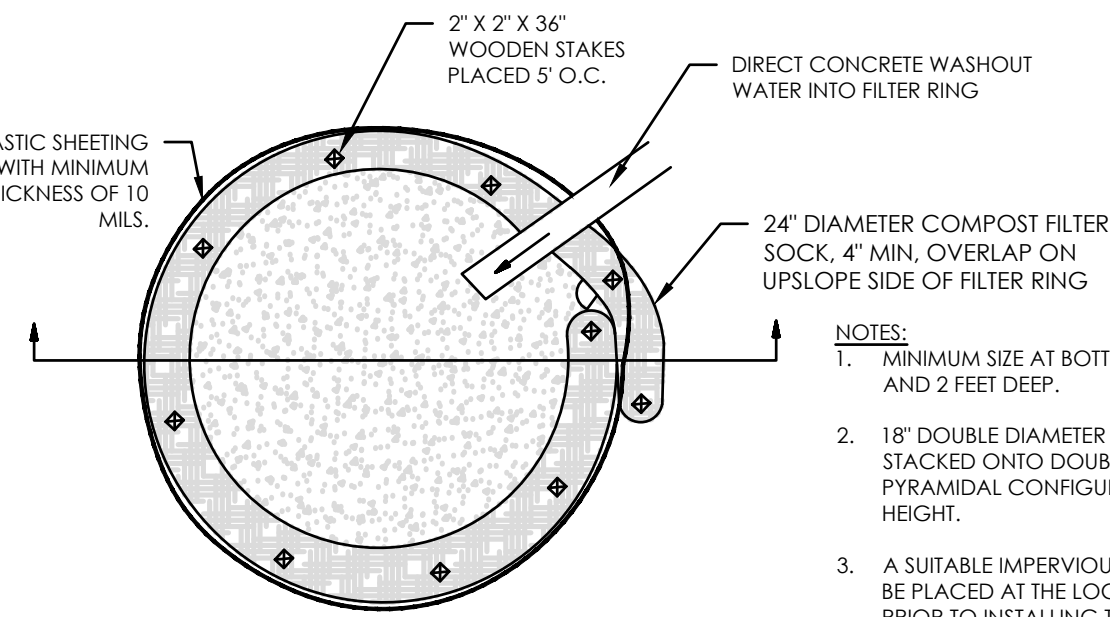
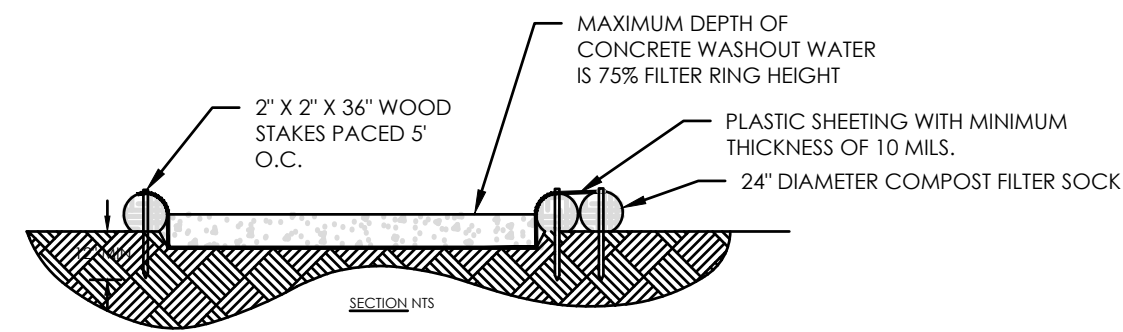
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



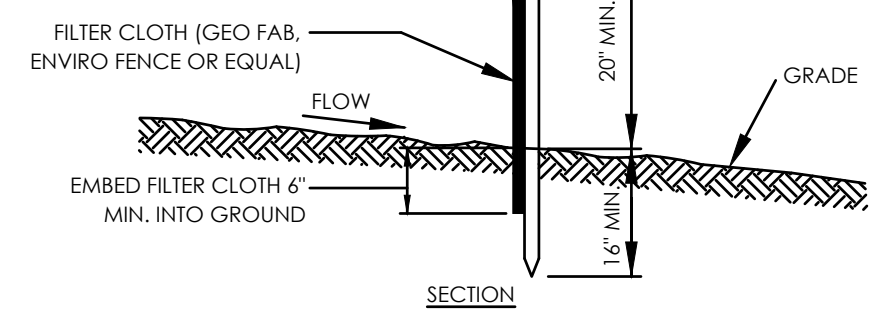
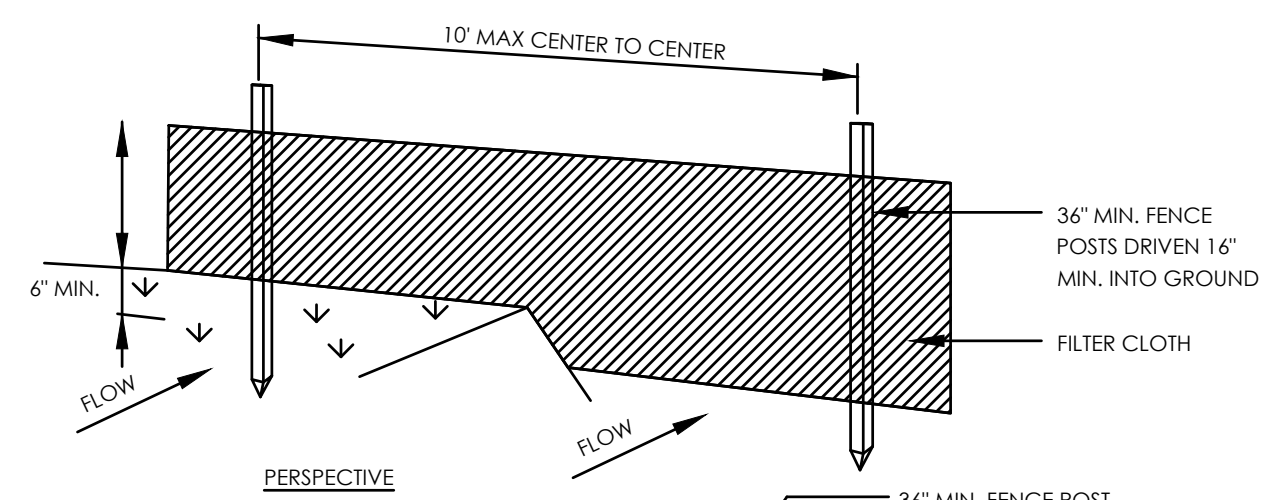
- NOTES:**
- ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS (OR APPROVED EQUAL).
  - FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS (OR APPROVED EQUAL).
  - DETAIL OBTAINED FROM FILTREXX®

**INLET PROTECTION**  
NOT TO SCALE



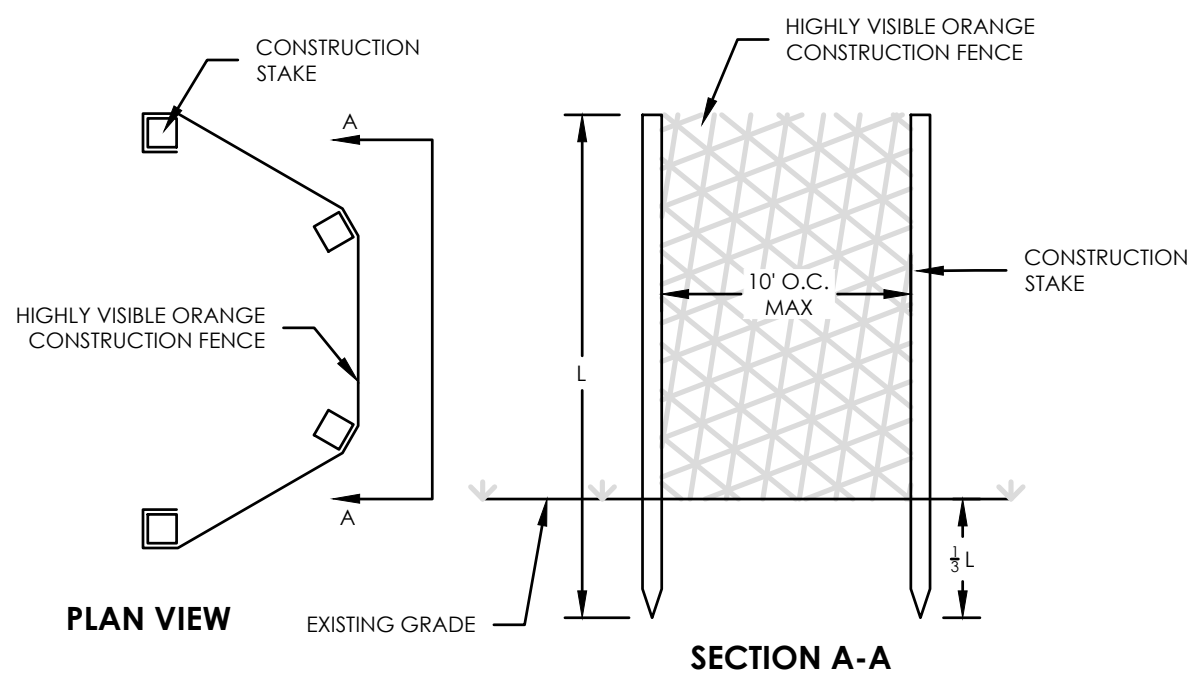
- NOTES:**
- MINIMUM SIZE AT BOTTOM SHOULD BE 8" X 8" AND 2 FEET DEEP.
  - 18" DOUBLE DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
  - A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS (MIN. 10 MIL PLASTIC).
  - PLASTIC LINE SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

**CONCRETE WASHOUT DETAIL**  
NOT TO SCALE



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.
  - POSTS SHALL BE STEEL, EITHER T OR U TYPE OR 2" HARDWOOD
  - FILTER CLOTH SHALL BE EITHER: FILTER X, MIRAFI 100X, STABILINKA T140N OR PREFABRICATED GEOTEX, ENVIROFENCE OR APPROVED EQUAL

**SILT FENCE**  
NOT TO SCALE



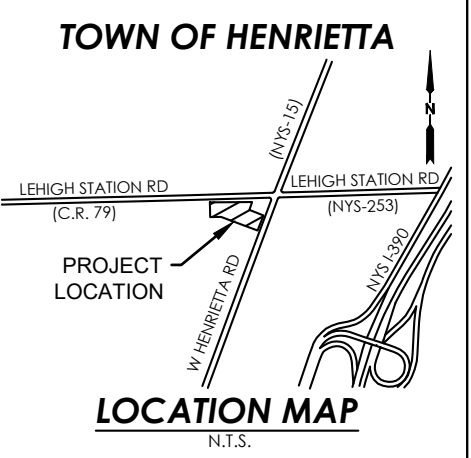
MATERIALS FOR TEMPORARY PLASTIC BARRIER FENCES SHALL MEET THE FOLLOWING REQUIREMENTS: FENCE: HIGH-DENSITY POLYETHYLENE MESH, ULTRAVIOLET-STABILIZED MIN. 2 YEARS; MINIMUM HEIGHT 4 FEET. COLOR: HIGH-VISIBILITY ORANGE OR GREEN. WHEN USED TO PROTECT TREES OR VEGETATION, COLOR SHALL BE HIGH-VISIBILITY ORANGE. POSTS: RIGID METAL OR WOOD POSTS; MINIMUM LENGTH 10.0 FEET TIES: STEEL WIRE, #14 GAUGE OR NYLON CABLE TIES.

**ORANGE CONSTRUCTION FENCE**  
NOT TO SCALE



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HENRIETTA, LLC  
1777 EAST HENRIETTA ROAD  
BUILDING A, SUITE 100  
ROCHESTER, NY 14623  
(585) 867-4750



REV	DESCRIPTION	DATE

4799 WEST HENRIETTA ROAD  
LOT 2 DEVELOPMENT  
BEING A PART OF TOWN OF HENRIETTA, MONROE COUNTY, NEW YORK  
DRAWING TITLE: CONSTRUCTION DETAILS - 3  
DRAWN BY: ESM PROJ. NO: 72240288  
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